

# COMMONS PARK PICNIC AREA RENOVATION

CIP 19-302  
MORAGA, CALIFORNIA



**GATES**  
**+ASSOCIATES**

LANDSCAPE ARCHITECTURE  
LAND PLANNING · URBAN DESIGN  
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MORAGA  
COMMONS PARK

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AREA RENOVATION

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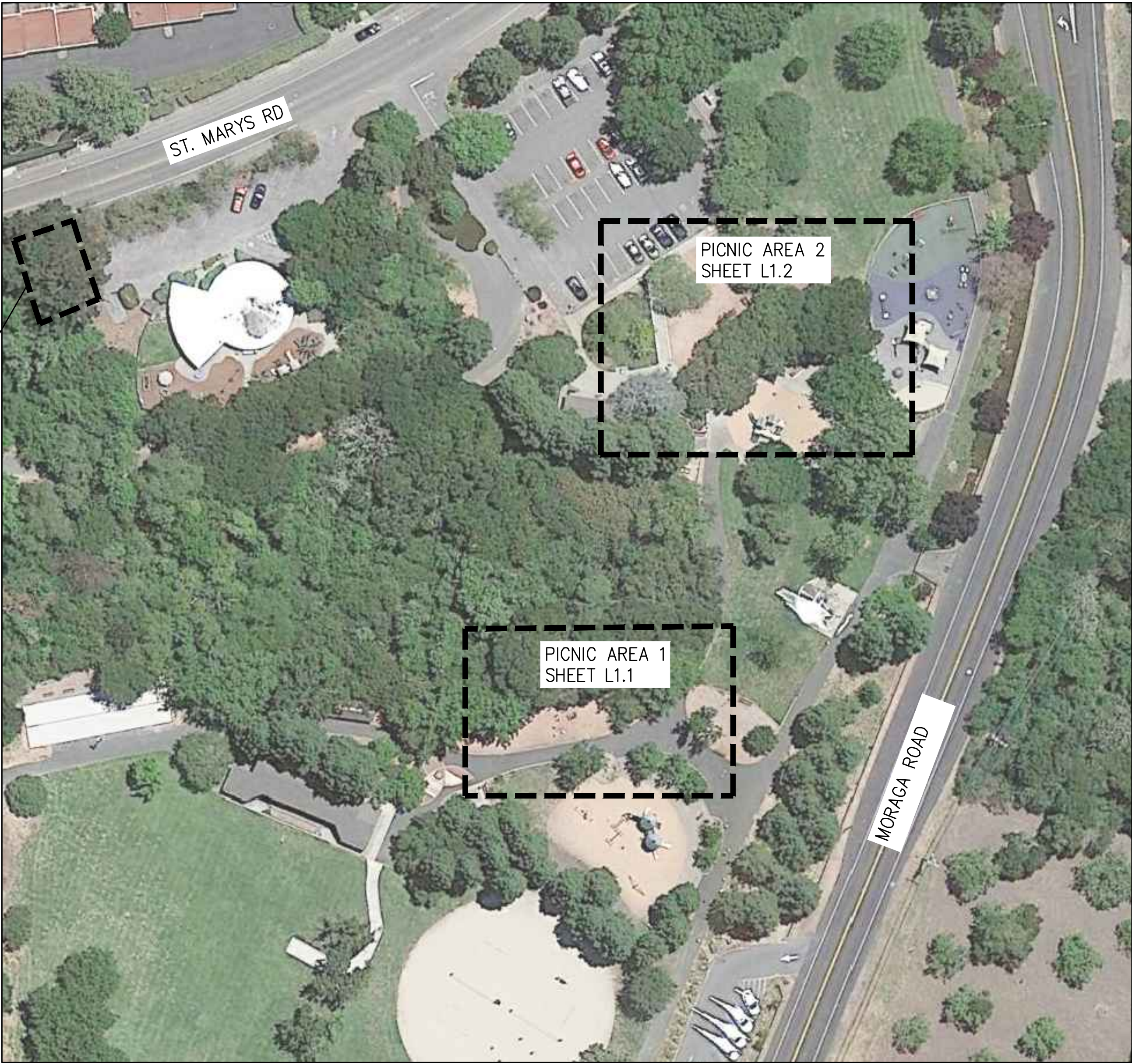
MORAGA, CALIFORNIA

## PROJECT DIRECTORY

TOWN OF MORAGA  
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## SITE MAP



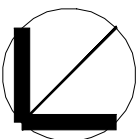
CONSTRUCTION  
STAGING AREA

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## LOCATION MAP



PROJECT SITE



APPROVED FOR ADVERTISING AND CONSTRUCTION

*Shawn Knapp*

2-10-2023

SHAWN KNAPP, PE  
PUBLIC WORKS DIRECTOR/ TOWN ENGINEER

DATE

ISSUE: DESCRIPTION: DATE:



PROJECT NUMBER: 5667  
DRAWN: BM/ GH  
CHECK: CG  
DATE: 02/01/2023  
SCALE:

COVER SHEET

L0.1



DEMO NOTES

- EXISTING CONDITIONS INFORMATION SHOWN IS BASED ON TOPOGRAPHIC SURVEY PROVIDED BY OTHERS AND RECORD INFORMATION PROVIDED BY OTHERS. ACTUAL CONDITIONS AT THE SITE MAY VARY SUBSTANTIALLY FROM THAT SHOWN ON THESE PLANS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY TOWN OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND EXISTING CONDITIONS SHOWN ON THESE PLANS.
- THE LIMITS OF DEMOLITION ARE APPROXIMATELY AS SHOWN ON THESE PLANS. THE EXACT LIMIT SHALL BE DETERMINED IN THE FIELD BY THE TOWN'S INSPECTOR AND WILL BE DETERMINED BY THE LIMITS OF THE NEW IMPROVEMENTS TO BE CONSTRUCTED. ALL EXISTING IMPROVEMENTS WITHIN LIMITS OF DEMOLITION WILL BE REMOVED UNLESS OTHERWISE NOTED.
- SURFACE MOUNTED, GALVANIZED, TEMPORARY METAL CHAIN LINK CONSTRUCTION FENCING SHALL BE MIN. 6" HIGH, 11 1/2 TO 9 GAUGE, 2 1/2 TO 2" MESH SIZE, AND SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT, AND BE REMOVED IMMEDIATELY AFTER PROJECT ACCEPTANCE. TEMPORARY CONSTRUCTION SIGNAGE SHALL CONFORM TO TOWN'S REQUIREMENTS, SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT, AND BE REMOVED IMMEDIATELY AFTER PROJECT ACCEPTANCE.
- THE CONSTRUCTION STAGING AREA SHALL BE PROTECTED WITH TYPE 3 BARRIERS, FENCING AND SIGNAGE. PARKING AREAS RESERVED FOR CONSTRUCTION USE SHALL BE PROPERLY SIGNED.
- CONTRACTOR SHALL PROVIDE PARKING LOT ACCESS AND PEDESTRIAN ACCESS AS REQUIRED BETWEEN BUILDINGS AND GENERAL AREAS. CONTRACTOR TO SUBMIT THE FOLLOWING PLANS TO THE TOWN FOR APPROVAL PRIOR TO BEGINNING ANY WORK. WORK SHALL NOT START WITHOUT TOWN'S APPROVED PLANS:
  - CONSTRUCTION FENCING PLAN
  - CONSTRUCTION SIGNAGE PLAN
  - CONSTRUCTION STAGING PLAN
  - VEHICLE TRAFFIC CONTROL PLAN
  - PEDESTRIAN SAFETY PLAN
  - SWPPP
- GRIND AND CLEAR ANY REMAINING STUMPS AND ROOTS OF TREES PREVIOUSLY REMOVED TO 10" BELOW FINISHED GRADE.
- EXISTING TREES TO REMAIN, AS SHOWN, AND SHALL BE PROTECTED PER SPECIFICATIONS AND TREE PROTECTION NOTES.
- DEMOLITION AND REMOVAL OF EXISTING ASPHALTIC CONCRETE PAVING AND CONCRETE PAVING SHALL INCLUDE CONCRETE SUBBASE (IF ANY) AND AGGREGATE BASE MATERIAL. AGGREGATE BASE MATERIAL MAY BE STOCKPILED AND REUSED IF IN COMPLIANCE WITH SPECIFICATIONS.
- EXISTING SITE DRAINAGE STRUCTURES TO REMAIN AND BE PROTECTED. CONTRACTOR TO PROTECT ALL SUBSURFACE PIPING AT ALL TIMES.
- CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION WORK.
- ANY DAMAGE TO THE SURROUNDING A.C. PAVED PATHWAY AND ROAD DUE TO CONSTRUCTION SHALL BE REPAIRED TO PRE EXISTING CONDITIONS TO THE SATISFACTION OF THE TOWN AND AT NO ADDITIONAL COST.
- CLEARING AND GRUBBING: ON ALL AREAS WHERE GRADING, EXCAVATION, AND FILL ARE TO BE DONE, ALL TIMBER, BRUSH, STUMPS, ROOTS, RUBBISH, AND ORGANIC MATERIALS SHALL BE REMOVED. STUMP HOLES SHALL BE FILLED WITH COMPACTED FILL SOIL.
- PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED. ANY DAMAGE TO EXISTING GRASS OR VEGETATION OUTSIDE THE CONSTRUCTION LIMITS AND STAGING AREAS SHALL BE REPLACED TO MATCH PRE EXISTING CONDITIONS AND TO THE SATISFACTION OF THE TOWN.
- PROTECT EXISTING UTILITY STRUCTURES, PLANTERS, LANDSCAPING, BUILDINGS AND FENCES AS NOTED ON PLANS. DURING DEMOLITION OF EXISTING STRUCTURES AND REMOVAL OF PAVEMENT AND SIDEWALKS.
- CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT ARE TO BE IMPACTED BY NEW CONSTRUCTION. ALL CONFLICTS MAY NOT BE SHOWN ON THIS PLAN.
- CONTRACTOR TO COORDINATE LOCATION OF EXISTING GAS, ELECTRIC AND COMMUNICATION LINES AND STRUCTURES WITH TOWN'S INSPECTOR.
- EXISTING SITE UTILITIES PROVIDED HAVE NOT BEEN FIELD VERIFIED. ALL EXISTING UTILITIES MAY NOT BE SHOWN. CONTRACTOR TO FIELD VERIFY LOCATION AND EXISTENCE OF ALL UTILITIES PRIOR TO DEMOLITION. CONTRACTOR TO COORDINATE WITH TOWN'S INSPECTOR PRIOR TO REMOVAL OF ANY UTILITY TO DETERMINE ITS CURRENT OR FUTURE USE.
- PRIOR TO CONSTRUCTION CONTRACTOR TO LAYOUT EDGES OF IMPROVEMENTS FOR FIELD REVIEW WITH TOWN OF MORAGA. ALL EXISTING TABLES AND FOOTINGS THAT ARE WITHIN THE PROPOSED LIMIT OF IMPROVEMENTS ARE TO BE REMOVED, RELOCATED, AND INSTALLED PER THE DIRECTION OF THE TOWN OF MORAGA.

GRADING NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPED AREAS. THE CONTRACTOR SHALL VERIFY ALL ROUGH GRADES IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE TOWN FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARITY WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION SUPERINTENDENT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH OPERATIONS.
- ALL PROPOSED GRADES ARE TO MEET AND BLEND WITH EXISTING GRADING AT PROJECT LIMIT AND EXISTING CURBS. PRECISE ELEVATIONS INDICATED ON PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR "ROUNDING OFF" ALL SHARP RIDGES EXISTING ON SITE WHETHER OR NOT SUCH CONDITIONS ARE INDICATED ON PLANS.
- NO CHANGE IN CONTRACT PRICE WILL BE ALLOWED FOR ACTUAL OR CLAIMED DISCREPANCY BETWEEN EXISTING GRADE AND THOSE SHOWN ON PLANS AFTER CONTRACTOR HAS ACCEPTED EXISTING GRADES AND MOVED ON TO THE SITE.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL SOIL, DEBRIS AND UNSUITABLE MATERIAL GENERATED BY HIS/HER OPERATIONS.
- MINIMUM SLOPE ON PAVING SHALL BE 1%.
- MAX CROSS SLOPE WITHIN ACCESSIBLE PATH OF TRAVEL SHALL BE 2%. MAX LONGITUDINAL SLOPE WITHIN ACCESSIBLE PATH OF TRAVEL SHALL BE 4.99%. NOTIFY TOWN IF ANY CONFLICTS PRIOR TO PLACEMENT OF PAVING.
- TOLERANCES OF PAVING SLOPE MAY VARY BY .5% AS LONG AS THE MINIMUM AND MAXIMUM LIMITS ARE MET PER NOTES #13 AND #14.
- ALL CONCRETE WORK WITHIN A PATH OF TRAVEL THAT DOES NOT MEET ADA CRITERIA SHALL BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.

PLANTING NOTES

EXISTING PLANT MATERIAL

- ALL EXISTING PLANT MATERIAL, TREES, OR LAWN TO REMAIN MUST BE PROTECTED AND MAINTAINED IN PLACE BY THE CONTRACTOR.
- ANY DAMAGED MATERIAL MUST BE FULLY REPLACED TO MATCH EXISTING BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACT AND OWNER.
- CONTRACTOR MUST MAINTAIN ANY EXISTING IRRIGATION SYSTEMS OR PROVIDE TEMPORARY IRRIGATION SYSTEMS AS REQUIRED TO ALL EXISTING PLANTING AREAS TO REMAIN.
- CONTRACTOR SHALL RELOCATE ANY EXISTING IRRIGATION INFRASTRUCTURE WHICH MAY INTERFERE WITH THE PROPOSED HARDSCAPE IMPROVEMENTS (VALVE BOXES, MAINLINES, ETC.).
- ALL AREAS DISTURBED BY CONSTRUCTION TO BE COVERED BY A 3" LAYER OF BARK MULCH. COLOR TO MATCH EXISTING ON SITE.

GENERAL NOTES

- THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXEMPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF ENGINEER.
- EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEETING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH, AND/OR STRUCTURE IS FIVE FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING, SHORING AND BRACING OR EQUIVALENT METHOD, FOR THE PROTECTION OF LIFE, OR LIMB, WHICH SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA, THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.
- ALL APPLICABLE REQUIREMENTS OF THE CALIFORNIA CONSTRUCTION AND GENERAL INDUSTRY SAFETY ERRORS, THE OCCUPATIONAL SAFETY AND HEALTH ACT AND THE CONSTRUCTION SAFETY ACT SHALL BE MET.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS NECESSARY TO PERFORM THE WORK SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES.
- THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR FAILURE TO DO SO.
- THE CONTRACTOR MUST PROVIDE FOR SAFE ACCESSIBLE INGRESS AND EGRESS FOR ADJACENT PROPERTY OWNERS AND EVA THROUGHOUT THE PERIOD OF CONSTRUCTION. TEMPORARY THROUGH ACCESS FOR THE GENERAL PUBLIC DUE TO CONSTRUCTION STAGING OR LIMITATIONS MUST BE FULLY REVIEWED AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. ALL ACCESS MUST BE SAFE, SECURED, FLAGGED, SIGNED, AND ACCESSIBLE PER THE APPROVED SITE ACCESS PLAN SUBMITTED BY THE CONTRACTOR AND REQUIRED BY THE OWNER.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EMERGENCY VEHICLE ACCESS, PUBLIC SAFETY AND SAFETY OF EXISTING STRUCTURES. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, FENCING, BARRICADES, TRAFFIC CONTROLS, FLAGGERS, SHORINGS, BRACING AND GUYS OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY IN ACCORDANCE WITH ALL NATIONAL, STATE SPECS AND LOCAL SAFETY ORDINANCES.
- THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF JOB SITE.
- ALL EXISTING UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST THREE (3) WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES.
- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (U.S.A.), AT 800--227--2600 TO LOCATE ALL UTILITIES WITHIN AND ADJACENT TO THE LIMIT OF WORK WHICH MAY BE IMPACTED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.
- ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION MUST BE COMPLETELY RESTORED TO THE SATISFACTION OF THE CITY ENGINEER OR UTILITY AGENCY REPRESENTATIVE, AT THE CONTRACTOR'S SOLE EXPENSE.
- ANY RELOCATION OF PUBLIC UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY REPRESENTATIVE INCLUDING FEES, BONDS, PERMITS AND WORKING CONDITIONS, ETC. THIS WORK SHALL BE DONE AT NO EXPENSE TO THE UTILITY COMPANY. THE OWNER SHALL PAY THE COST OF ALL SUCH RELOCATION WORK INCLUDING FEES, BONDS, PERMITS, ETC.
- THE CONSTRUCTION OF ALL GRAVITY UNDERGROUND LINES (STORM DRAINS) SHALL BEGIN AT THE MOST DOWNSTREAM END, UNLESS OTHERWISE SPECIFICALLY APPROVED BY ENGINEER OR BY THE OWNER.
- IF ARCHEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORK WITHIN 50 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.
- THE USE OR INSTALLATION OF ANY MATERIAL OR EQUIPMENT WHICH IS MADE FROM, OR WHICH CONTAINS ASBESTOS FOR USE IN THE CONSTRUCTION OF THESE IMPROVEMENTS, IS NEITHER SPECIFIED NOR RECOMMENDED. ANY PARTY INSTALLING OR USING ANY PARTY SUCH MATERIALS OR EQUIPMENT SHALL BE SOLELY RESPONSIBLE FOR ALL INJURIES, DAMAGES, OR LIABILITIES OF ANY KIND, CAUSED BY THE USE OF SUCH MATERIALS OR EQUIPMENT.
- THE CONTRACTOR MUST MEET AND IMPLEMENT ALL NPDES, SWPPP, AND EROSION CONTROL REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE TOWN OF MORAGA FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- ALL QUESTIONS SHALL BE DIRECTED TO THE TOWN OF MORAGA AT PUBLICWORKS@MORAGA.CA.US OR THRU THE TOWN'S BIDDING WEBSITE AT [HTTPS://WWW.MORAGA.CA.US/BIDS.ASPX](https://www.moraga.ca.us/bids.aspx)

LAYOUT NOTES

- CONTRACTOR SHALL VERIFY ALL UTILITIES, GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL WRITTEN DIMENSIONS SUPERCEDE ALL SCALED DISTANCES AND DIMENSIONS. DIMENSIONS SHOWN ARE FROM THE FACE OF THE BUILDING, WALL, BACK OF CURB, EDGE OF WALK, PROPERTY LINE, OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL DIMENSIONS AT BUILDING ARE TO FACE OF BUILDING. ALL DIMENSIONS AT ROADWAY ARE TO FACE OF CURB.
- ALL ANGLES ARE 45 DEGREE, 90 DEGREE, OR 135 DEGREE UNLESS OTHERWISE NOTED.
- ALL CURVES AND ALL TRANSITIONS BETWEEN CURVES AND STRAIGHT EDGES SHALL BE SMOOTH.
- ALL RETURN RADII AND CURB DATA ARE TO FACE OF CURB.
- WHENEVER BOTTOM OF WALL (BW) ELEVATION IS GIVEN, IT IS FINISH GRADE ELEVATION.
- SCORE LINES IN SIDEWALKS SHALL BE SPACED TO EQUAL THE WIDTH OF THE WALKWAY, UNLESS OTHERWISE SHOWN. EXPANSION JOINTS IN SIDEWALKS SHALL BE 20' ON CENTER MAXIMUM.
- EXPANSION JOINTS IN CONCRETE WALLS SHALL BE AT 40' O.C. MAXIMUM.
- BUILDING LAYOUT AND LOCATION, SIDEWALK, CURB AND GUTTER, GRADING AND DRAINAGE IS BASED ON DRAWINGS PREPARED BY THE ARCHITECT AND THE CIVIL ENGINEER.
- STATIONING HEREON IS ALONG CONSTRUCTION CENTERLINE UNLESS OTHERWISE SHOWN OR INDICATED.
- PROVIDE CONTINUOUS HEADERS AT THE EDGES OF ALL AC PAVING, SHRUB AREAS, LAWN AREAS, DECOMPOSED GRANITE WHERE IT IS NOT CONSTRAINED BY A CONCRETE PAVING OR MOW BAND.
- ALL CONCRETE PAVEMENTS SHALL BE DOWELED INTO CURBS, SIDEWALKS, AND BUILDING FOUNDATIONS.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.
- ANY AND ALL WORK WITHIN TOWN OF MORAGA RIGHT OF WAY SHALL CONFORM TO ALL TOWN OF MORAGA STANDARD DETAILS AND SPECIFICATIONS.
- CONCRETE FOOTINGS INSTALLED FOR ALL SITE FURNISHINGS, SPORTS EQUIPMENT, ETC., IN DECORATIVE PAVEMENT, ASPHALT PAVING, DECOMPOSED GRANITE, CONCRETE PAVING, AND PLANTERS SHALL BE HELD BELOW GRADE.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED AS REQUIRED. ANY DAMAGED ITEMS SHALL BE FULLY REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE TO THE FULL SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH OPERATIONS.
- ALL QUANTITIES AND PAY ITEMS ARE AND WILL BE BASED ON HORIZONTAL MEASUREMENTS.
- ALL PATTERNS, LINE TYPES, AND SYMBOLS SHOWN WITHIN THE PLAN SET REFERENCE THE LAYOUT LEGEND AND ARE PART OF THE SCOPE OF WORK. CALLOUTS ARE SHOWN FOR CLARIFICATION OF WORK, BUT DO NOT INDICATE EVERY AND ALL INSTANCES OF SUCH WORK. THE CONTRACTOR SHALL REQUEST CLARIFICATION TO ANY ITEMS (INCLUDING BUT NOT LIMITED TO PAVING, WALLS, FINISHES, COLORS, FENCING, FOUNTAINS, POTS, AND SITE FURNITURE) NOT CLEARLY IDENTIFIED TO BE PART OF THE SCOPE OF WORK PRIOR TO BID.
- THE CONTRACT DRAWINGS MUST BE ACCOMPANIED BY CONTRACT SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK AND MATERIALS OF THE CONTRACT DOCUMENTS INCLUDING ALL WORK AND MATERIALS PROVIDED BY SUBCONTRACTORS.

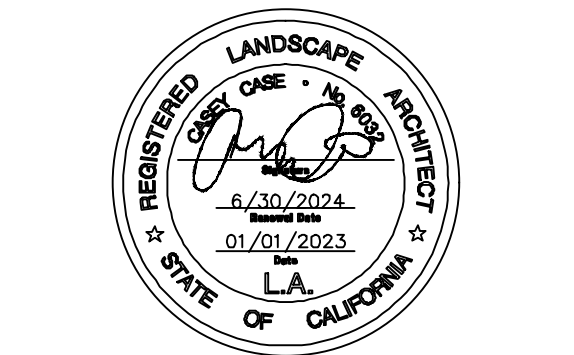


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NOTES

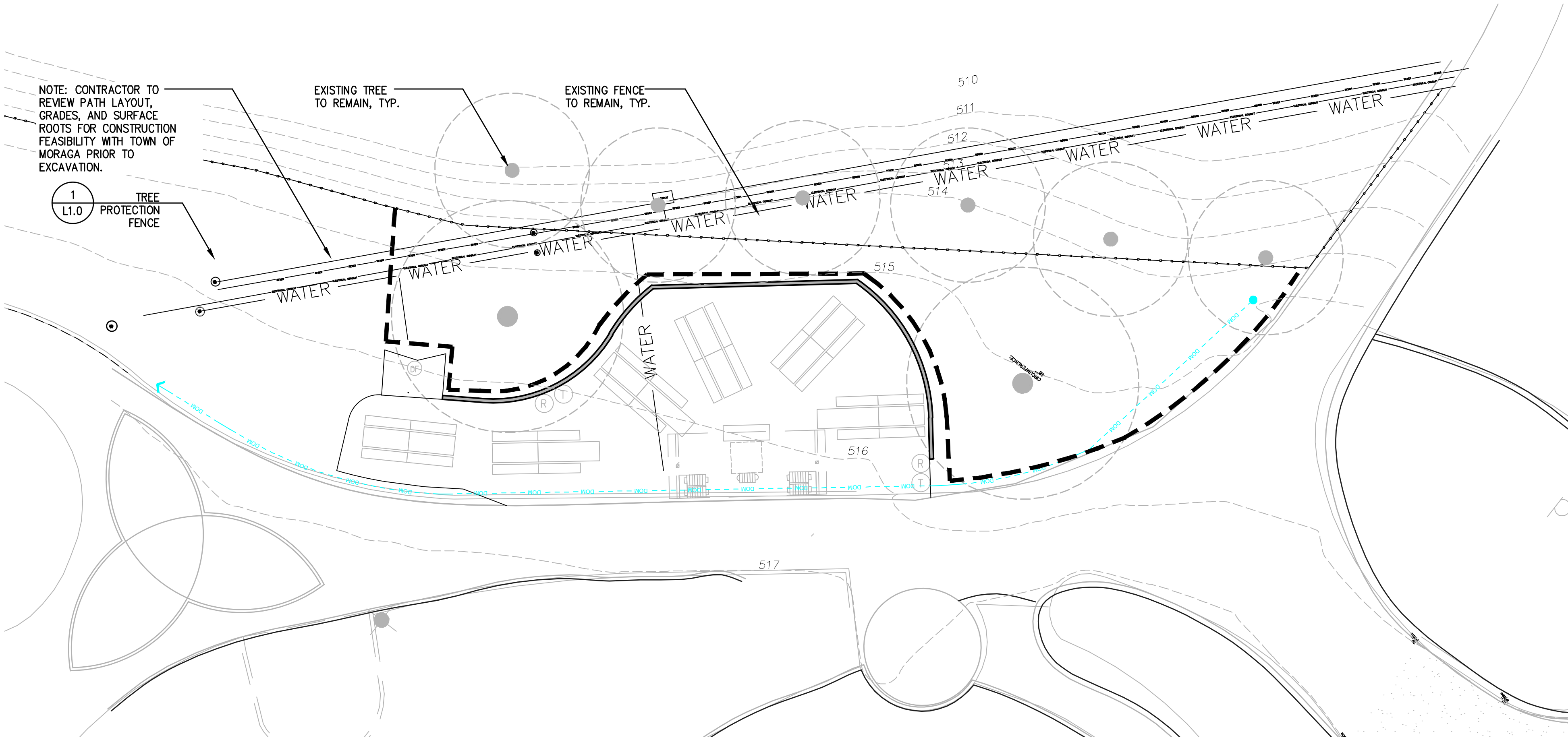
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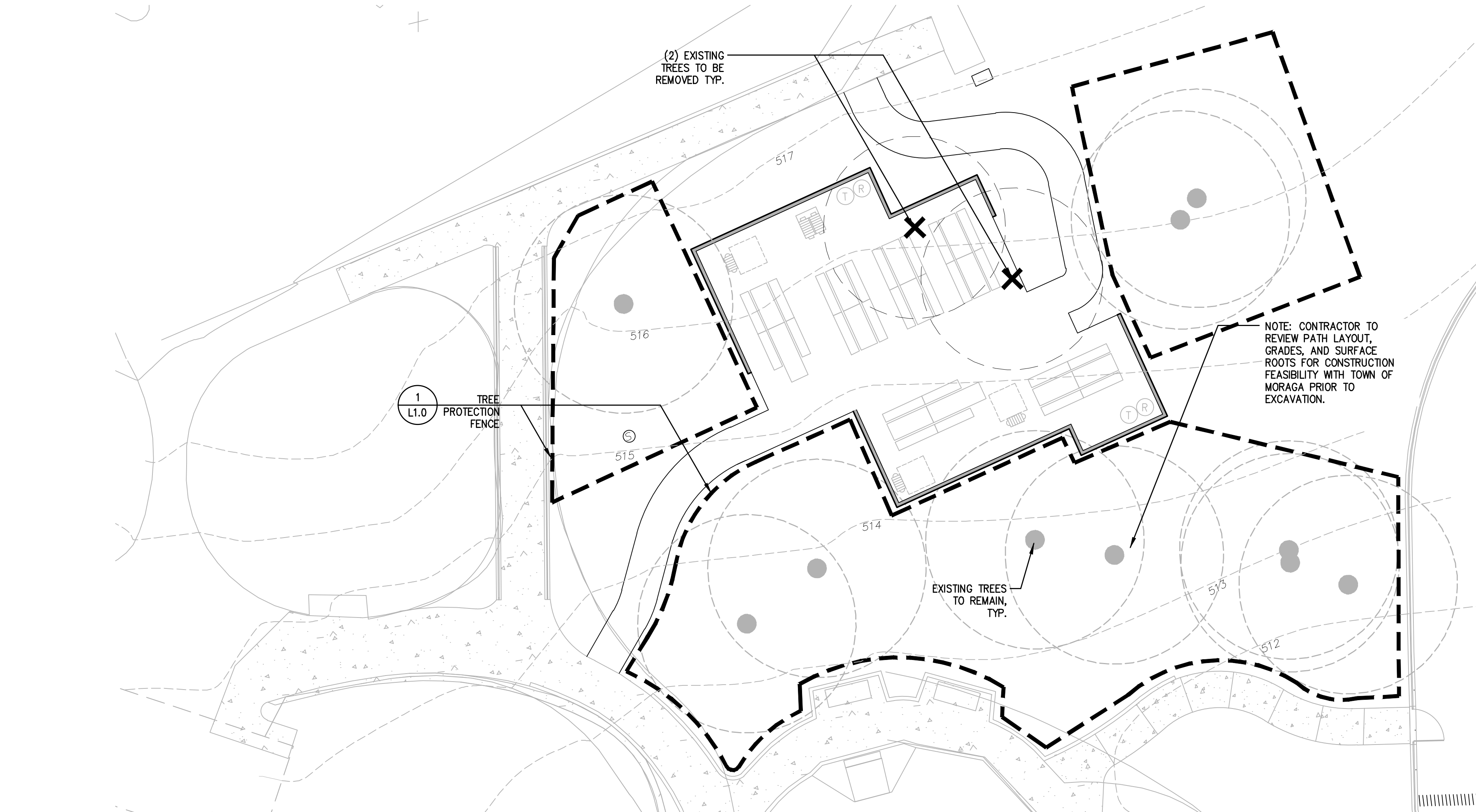
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## TREE PROTECTION NOTES:

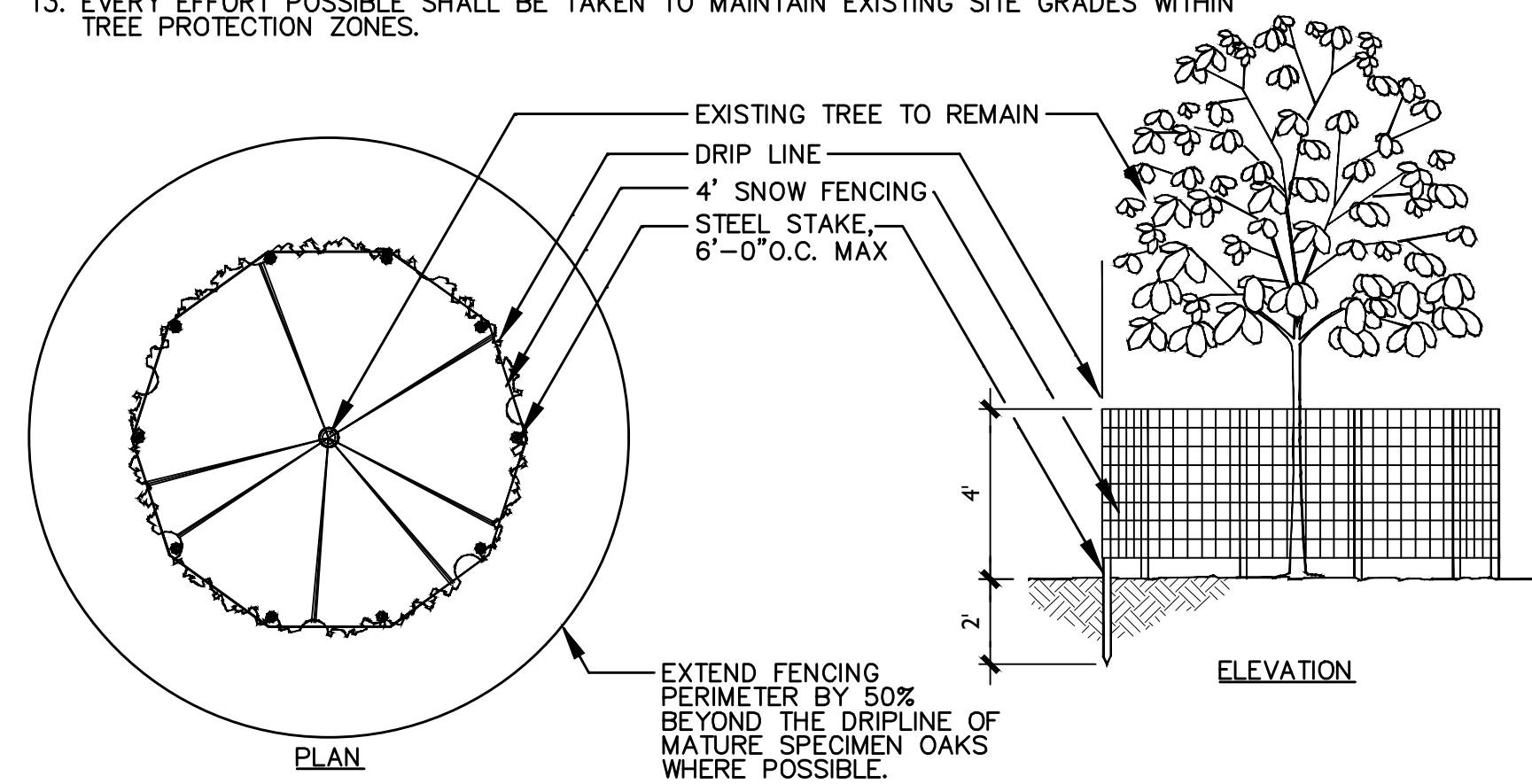
1. PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY IN THE AREA, INCLUDING GRADING, TEMPORARY PROTECTIVE FENCING SHALL BE INSTALLED AT EACH SITE TREE. FENCING SHALL BE LOCATED AT OR BEYOND THE CANOPY DRIP LINE SO THAT 100% OF THE DRIP LINE WILL BE PROTECTED BY FENCING TO REDUCE SOIL COMPACTION FROM EQUIPMENT.
2. THE CONTRACTOR IS REQUIRED TO WATER, FERTILIZE AND ATTEND TO OTHER MAINTENANCE NEEDS OF EXISTING TREES AS NEEDED PER ARBORIST'S RECOMMENDATIONS TO MAINTAIN HEALTHY GROWTH THROUGHOUT THE CONSTRUCTION PERIOD. SIX FEET DIAMETER, MINIMUM, BY SIX INCH TALL EARTH BERMS SHALL BE CONSTRUCTED AT THE BASE OF EACH TREE TO FUNCTION AS TEMPORARY WATERING BASINS DURING THE CONSTRUCTION PERIOD. TREES SHALL BE WATERED ACCORDING TO WEATHER AND TREE REQUIREMENTS. APPROVED MULCH OF 1-2 INCH SIZED WOOD CHIPS SHALL BE PLACED AT A DEPTH OF 4 INCHES WHERE NO EXCAVATION IS TO OCCUR IN THE VICINITY OF THE TREES TO BE PROTECTED.
3. THE TREE PROTECTION FENCE SHALL BE 6' HIGH SNOW FENCE WITH IMMOVABLE POSTS. THE FENCING SHALL FORM A CONTINUOUS BARRIER WITHOUT ENTRY POINTS AROUND EACH TREE. ANY ENCRoACHMENT INTO THE DRIP LINE FOR FENCING OR CONSTRUCTION PURPOSES SHALL NOT BE PERMITTED.
4. LOW HANGING LIMBS OF SAVED TREES SHALL BE PRUNED PRIOR TO GRADING, OR ANY EQUIPMENT MOBILIZATION ON SITE. THE PURPOSE OF THIS REQUIREMENT IS TO AVOID TEARING LIMBS BY HEAVY EQUIPMENT. ALL LIMBS TO BE PRUNED SHALL BE SUPERVISED BY THE ARBORIST OF RECORD FOR THE JOB.
5. THIS FENCING SHALL SERVE AS A BARRIER TO PREVENT DRIP LINE ENCRoACHMENT OF ANY TYPE OF CONSTRUCTION ACTIVITIES AND EQUIPMENT. NO OILS, GAS, CHEMICALS, LIQUID WASTE, SOLID WASTE CONSTRUCTION MACHINERY OR CONSTRUCTION MATERIALS SHALL BE STORED OR ALLOWED TO STAND FOR ANY PERIOD OF TIME WITHIN THE DRIP LINE OF THE TREE. FURTHER, NO ONE SHALL ENTER THE FENCE PERIMETER FOR ANY REASON EXCEPT FOR THE PURPOSE OF MONITORING THE HEALTH OF THE TREE. ACCIDENTAL DAMAGE TO BARK, ROOT CROWN, OR LIMBS MAY INCREASE POTENTIAL FOR FUTURE DECLINE.
6. CONTRACTORS AND SUBCONTRACTORS SHALL DIRECT ALL EQUIPMENT AND PERSONNEL TO REMAIN OUTSIDE THE FENCED AREA AND AT ALL TIMES UNTIL PROJECT IS COMPLETE, AND SHALL INSTRUCT EMPLOYEES AS TO THE PURPOSE AND IMPORTANCE OF FENCING.
7. A 'TREE PROTECTION ZONE' SIGN SHALL BE POSTED AT EACH TREE INDICATING THE PURPOSE OF THE FENCING.
8. THE ARBORIST OF RECORD FOR THE JOB OR THE TOWN ARBORIST SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF THE FENCING PRIOR TO ANY GRADING OPERATIONS.
9. FENCING MUST REMAIN IN PLACE AND SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETED. THIS SHALL INCLUDE GRADING AND COMPACTION ACTIVITIES, INSTALLATION OF UNDERGROUND UTILITIES, ALL CONSTRUCTION ACTIVITIES AND ANY OTHER CONSTRUCTION OR ACTIVITY WHICH IS SCHEDULED PRIOR OR LANDSCAPE INSTALLATION.
10. ROOTS OF SINGLE STANDING TREES OFTEN EXTEND UP TO THREE TIMES THE DISTANCE OF THE ACTUAL DRIP LINE AND FUNCTION PRIMARILY IN THEY UPTAKE OF NUTRIENTS AND WATER. THE DRIP LINE IS ARBITRARILY ESTABLISHED AS THE MINIMUM ROOT AREA GENERALLY REQUIRED TO PRESERVE TREE HEALTH. AS MUCH AREA AROUND THE CIRCUMFERENCE OF THE TREE SHOULD HAVE MINIMUM INTRUSION TO FURTHER INSURE TREE SURVIVAL AND HEALTH.
11. UNAUTHORIZED TREE REMOVAL IS SUBJECT TO IN-KIND REPLACEMENT EQUAL TO THE VALUE OF THE MATURE RESOURCE LOST, AS DETERMINED BY THE TOWN.
12. NO MECHANICAL TRENCHING SHALL OCCUR WITHIN THE TREE PROTECTION ZONE. ANY EXCAVATION IF REQUIRED SHALL BE BY HAND, AIR SPADE OR BY VACUUM. CUTTING OF ANY ROOTS OVER 3" DIA. SHALL BE REVIEWED BY AN ARBORIST.
13. SEE LANDSCAPE PRESERVATION SPECIFICATIONS FOR ADDITIONAL INFORMATION.
14. THE CONTRACTOR SHALL CONTRACT WITH AN ARBORIST AS REQUIRED TO ENSURE PROPER TREE HEALTH



TREE PROTECTION PLAN – PICNIC AREA 1



TREE PROTECTION PLAN – PICNIC AREA 2



1 EXISTING TREE PROTECTIVE FENCING  
SCALE: 1/4" = 1'-0"



**GATES**  
**+ASSOCIATES**  
LANDSCAPE ARCHITECTURE  
LAND PLANNING · URBAN DESIGN  
1655 N. MAIN ST. STE 365, WALNUT CREEK, CA 94596  
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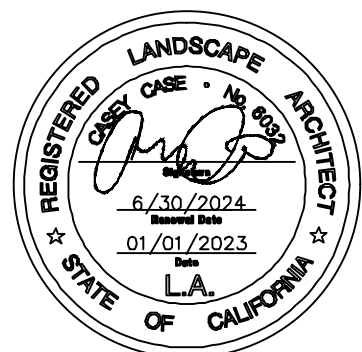
## MORAGA COMMONS PARK

COMMONS PARK PICNIC  
AREA RENOVATION

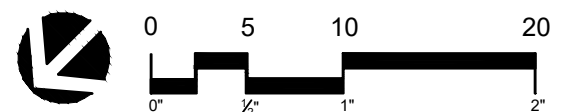
CIP 19-302

MORAGA, CALIFORNIA

ISSUE: DESCRIPTION: DATE:



PROJECT NUMBER: 5667  
DRAWN: BM/ GH  
CHECK: CG  
DATE: 02/01/2023  
SCALE: 1"=10'-0"



TREE PROTECTION PLAN

**L1.0**



FURNISHING SCHEDULE

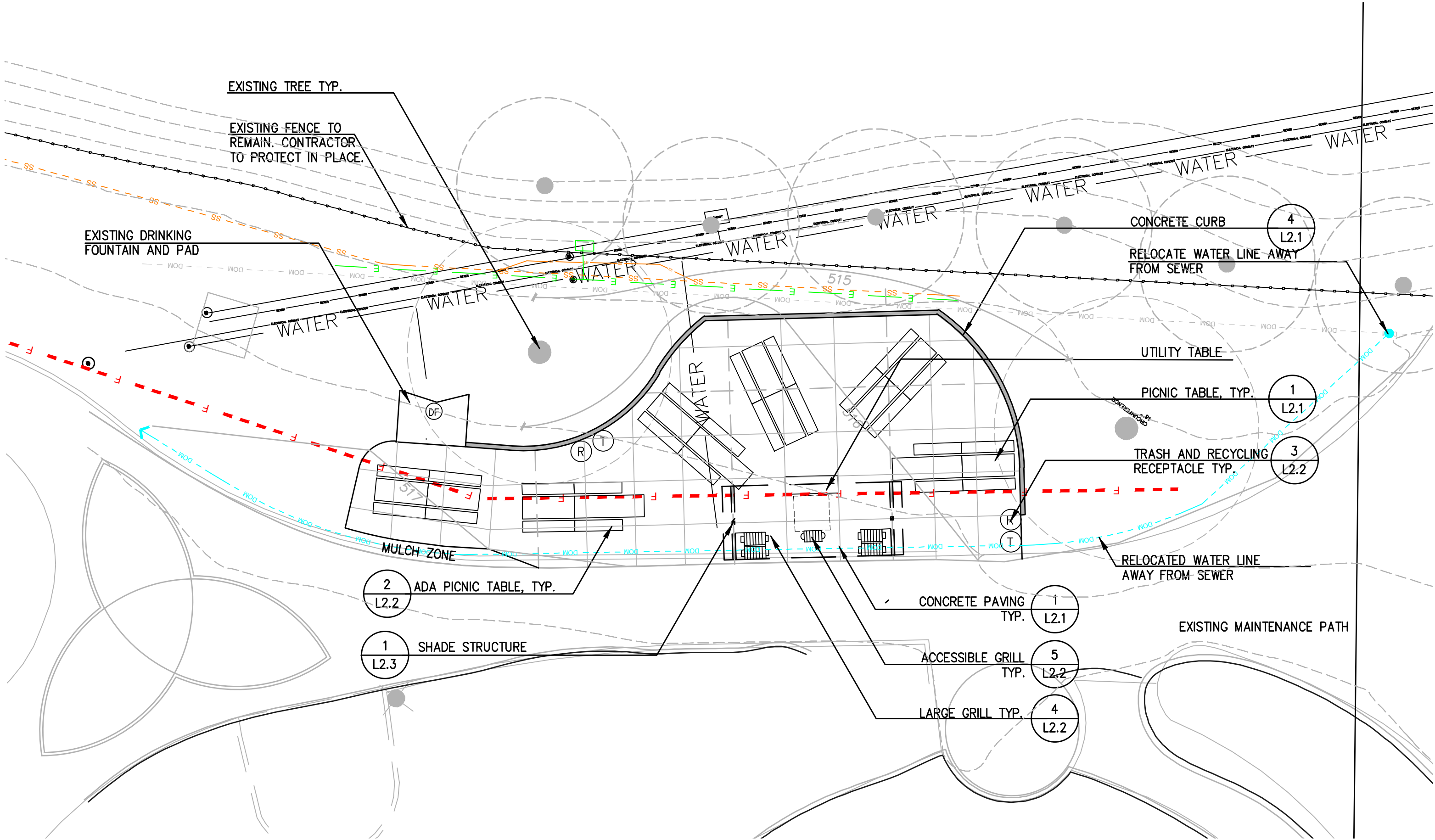
KEY	DESCRIPTION	MODEL	COLOR/FINISH	QTY	MFG/SUPPLIER	CONTACT
	ADA PICNIC TABLE	100-60PL & 100-68-1PL (SURFACE MOUNT S-2)	FRAME: BLACK PLANKS: RECYCLED PLASTIC-CEDAR	(5) 100-68-1PL	DUMOR	(800) 598 4018
	PICNIC TABLE	100-60PL (SURFACE MOUNT S-2)	FRAME: BLACK PLANKS: RECYCLED PLASTIC-CEDAR	(19) 100-60PL	DUMOR	(800) 598 4018
	UTILITY TABLE	T700/B-PC (6FT) (SURFACE MOUNT)	FRAME: BLACK PLANKS: RECYCLED PLASTIC-CEDAR	1	PILOT ROCK	(800) 762 5002
	LARGE GRILL	P1000/S4/G B13 (W/SHELF) (EMBEDDED MOUNT)	COLOR: BLACK	3	PILOT ROCK	(800) 762 5002
	ACCESSIBLE GRILL	G630H-3 (EMBEDDED MOUNT)	COLOR: BLACK	4	BELSON	(800) 323 5664
	TRASH RECEPTACLE	TRH/G55PC24 LID: T-24 (EMBEDDED MOUNT)	FRAME: POWDER COAT BLACK PLANKS: PLASTIC-CEDAR	4	PILOT ROCK	(800) 762 5002
	RECYCLING RECEPTACLE	RECYCLING RECEPTACLE: TRH/G55PC24 LID: T-24PC (EMBEDDED MOUNT)	FRAME: POWDER COAT BLACK PLANKS: PLASTIC-CEDAR	4	PILOT ROCK	(800) 762 5002

PAVING SCHEDULE

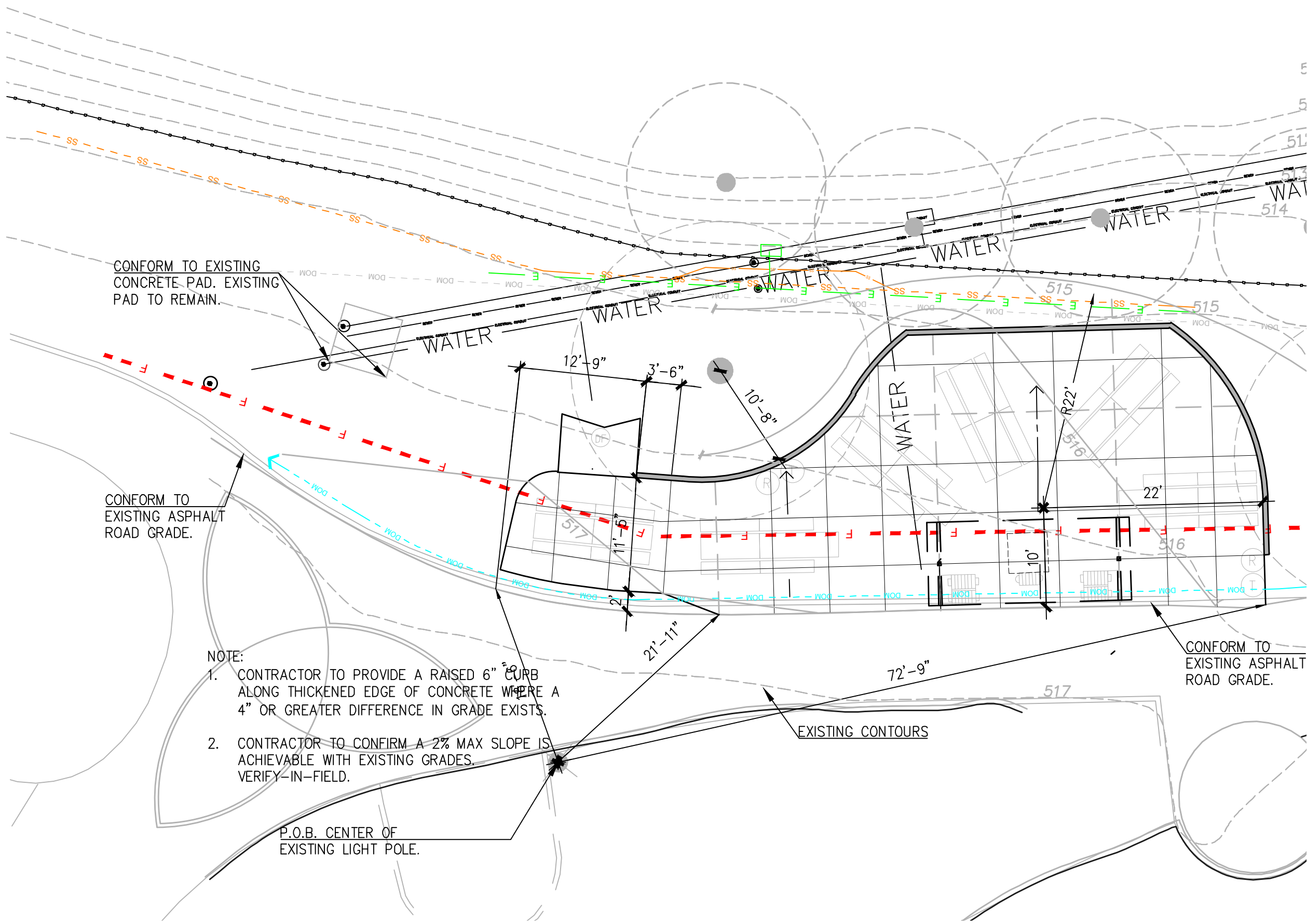
KEY	DESCRIPTION	COLOR	FINISH/MODEL	MFG/SUPPLIER	CONTACT	PATTERN/JOINING	DETAIL/ SHEET
	PEDESTRIAN CONCRETE PAVING	STANDARD GREY	MEDIUM BROOM	N/A	N/A	TOOLED JOINTS/EJ'S PER LAYOUT	1/L2.1

GRADING LEGEND

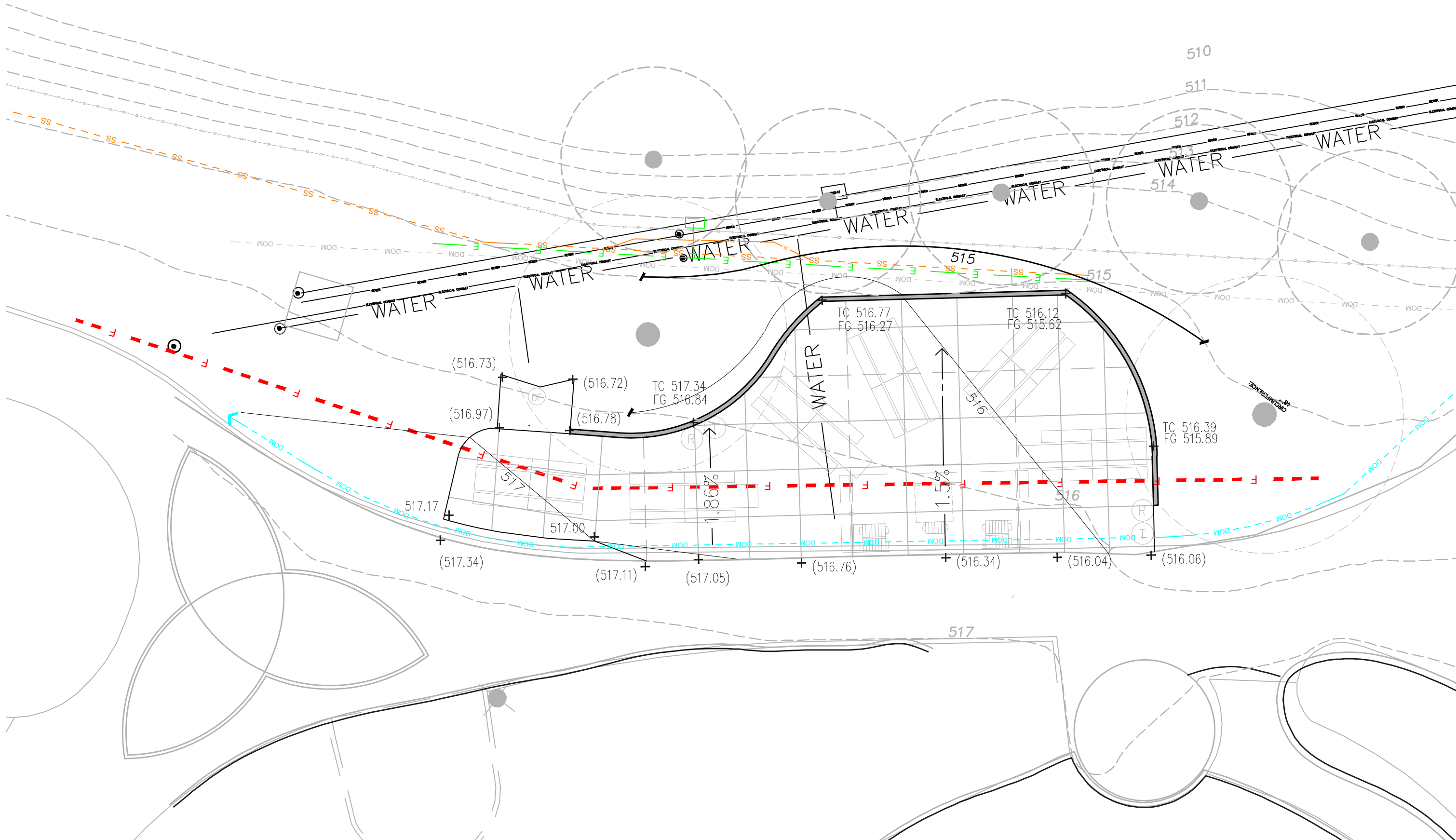
NOTE: 1. SEE GRADING NOTES L0.2	TC	TOP OF CURB ELEVATION
	BC	BOTTOM OF CURB ELEVATION
	FG	FINISH GRADE OF PAVING
	TW	TOP OF WALL ELEVATION
	BW	BACK OF WALL ELEVATION
	368.82	SPOT ELEVATION



LAYOUT PLAN – PICNIC AREA 1



DIMENSIONING PLAN – PICNIC AREA 1



GRADING PLAN – PICNIC AREA 1



**GATES**  
**+ASSOCIATES**  
LANDSCAPE ARCHITECTURE  
LAND PLANNING · URBAN DESIGN  
1655 N. MAIN ST. STE 365, WALNUT CREEK, CA 94596  
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MORAGA  
COMMONS PARK

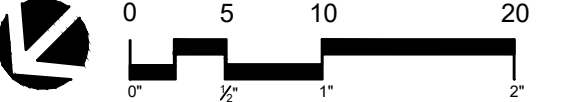
COMMONS PARK PICNIC  
AREA RENOVATION

CIP 19-302  
MORAGA, CALIFORNIA

ISSUE: DESCRIPTION: DATE:



PROJECT NUMBER: 5667  
DRAWN: BM/GH  
CHECK: CG  
DATE: 02/01/2023  
SCALE: 1"=10'-0"










PICNIC AREA 1

**L1.1**



## FURNISHING SCHEDULE

KEY	DESCRIPTION	MODEL	COLOR/FINISH	QTY	MFG/SUPPLIER	CONTACT
	ADA PICNIC TABLE	100-60PL & 100-68-1PL (SURFACE MOUNT S-2)	FRAME: BLACK PLANKS: RECYCLED PLASTIC-CEDAR	(5) 100-68-1PL	DUMOR	(800) 598 4018
	PICNIC TABLE	100-60PL (SURFACE MOUNT S-2)	FRAME: BLACK PLANKS: RECYCLED PLASTIC-CEDAR	(19) 100-60PL	DUMOR	(800) 598 4018
	UTILITY TABLE	T700/B-PC (6FT) (SURFACE MOUNT)	FRAME: BLACK PLANKS: RECYCLED PLASTIC-CEDAR	1	PILOT ROCK	(800) 762 5002
	LARGE GRILL	P1000/S4/G B13 (W/SHELF) (EMBEDDED MOUNT)	COLOR: BLACK	3	PILOT ROCK	(800) 762 5002
	ACCESSIBLE GRILL	G630H-3 (EMBEDDED MOUNT)	COLOR: BLACK	4	BELSON	(800) 323 5664
	TRASH RECEPTACLE	TRASH RECEPTACLE: TRH/G55PC24 LID: T-24 (EMBEDDED MOUNT)	FRAME: POWDER COAT BLACK PLANKS: PLASTIC-CEDAR	4	PILOT ROCK	(800) 762 5002
	RECYCLING RECEPTACLE	RECYCLING RECEPTACLE: TRH/G55PC24 LID: T-24PC (EMBEDDED MOUNT)	FRAME: POWDER COAT BLACK PLANKS: PLASTIC-CEDAR	4	PILOT ROCK	(800) 762 5002

## PAVING SCHEDULE

KEY	DESCRIPTION	COLOR	FINISH/MODEL	MFG/SUPPLIER	CONTACT	PATTERN/JOINING	DETAIL/ SHEET
	PEDESTRIAN CONCRETE PAVING	STANDARD GREY	MEDIUM BROOM	N/A	N/A	TOOLED JOINTS/EJ'S PER LAYOUT	1/L2.1

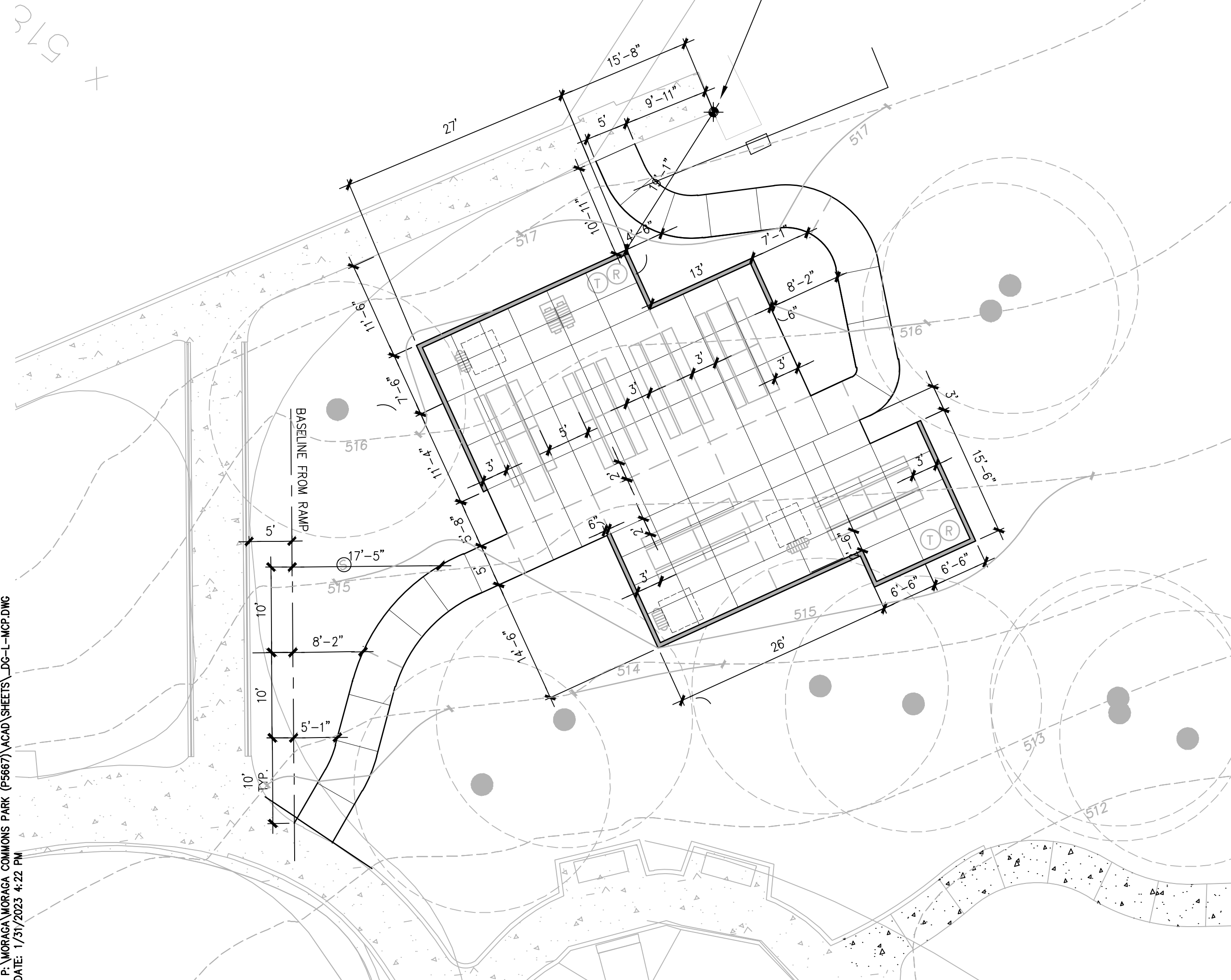
## GRADING LEGEND

NOTE:  
1. SEE GRADING NOTES L0.2 TC TOP OF CURB ELEVATION

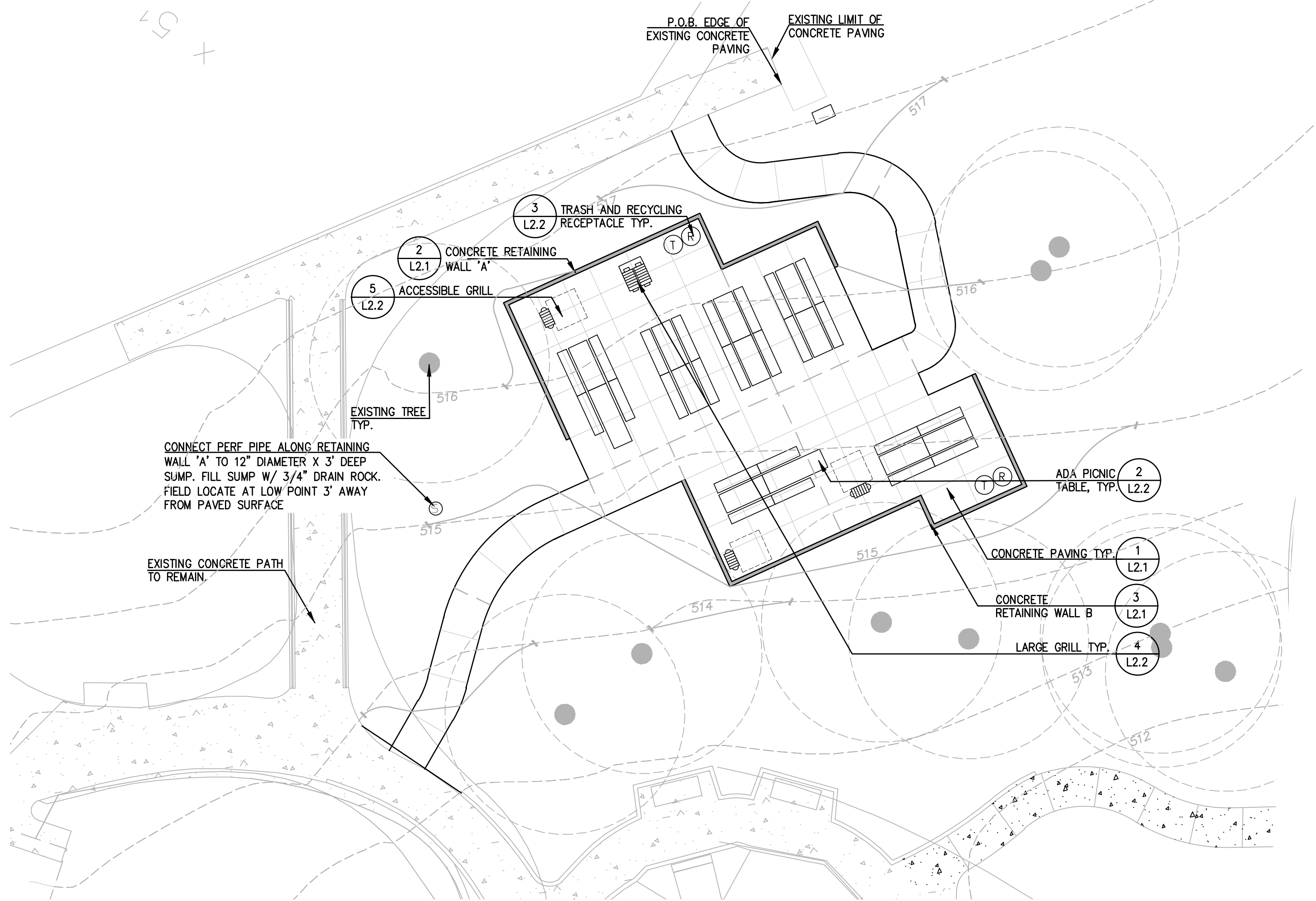
EXISTING CONTOUR BC BOTTOM OF CURB ELEVATION

← DIRECTION OF FLOW      FG      FINISH GRADE OF PAVING

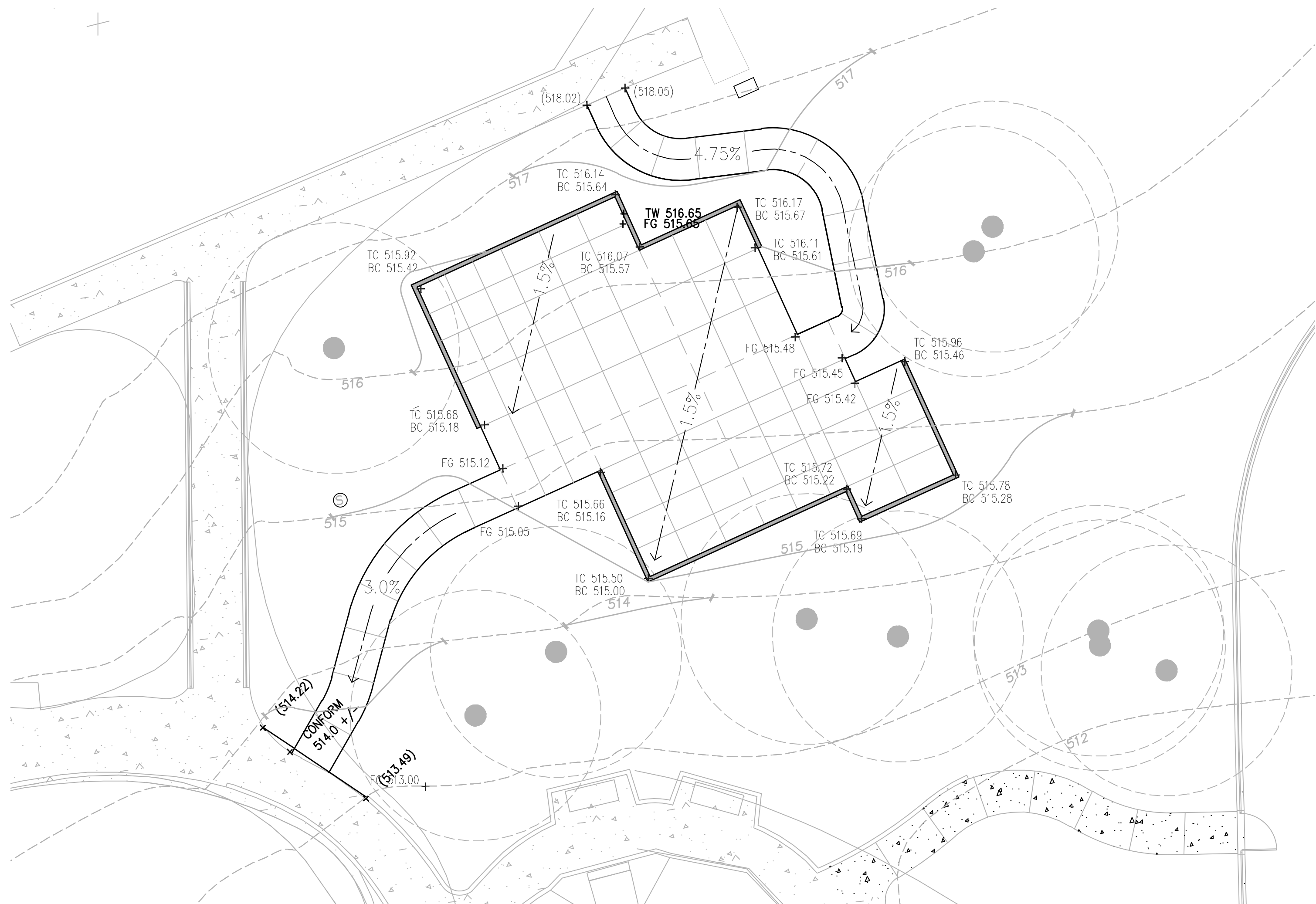
+ 368.82 SPOT ELEVATION		BW BACK OF WALL ELEVATION	
1	368.82	368.82	368.82
2	368.82	368.82	368.82
3	368.82	368.82	368.82
4	368.82	368.82	368.82
5	368.82	368.82	368.82
6	368.82	368.82	368.82
7	368.82	368.82	368.82
8	368.82	368.82	368.82
9	368.82	368.82	368.82
10	368.82	368.82	368.82
11	368.82	368.82	368.82
12	368.82	368.82	368.82
13	368.82	368.82	368.82
14	368.82	368.82	368.82
15	368.82	368.82	368.82
16	368.82	368.82	368.82
17	368.82	368.82	368.82
18	368.82	368.82	368.82
19	368.82	368.82	368.82
20	368.82	368.82	368.82
21	368.82	368.82	368.82
22	368.82	368.82	368.82
23	368.82	368.82	368.82
24	368.82	368.82	368.82
25	368.82	368.82	368.82
26	368.82	368.82	368.82
27	368.82	368.82	368.82
28	368.82	368.82	368.82
29	368.82	368.82	368.82
30	368.82	368.82	368.82
31	368.82	368.82	368.82
32	368.82	368.82	368.82
33	368.82	368.82	368.82
34	368.82	368.82	368.82
35	368.82	368.82	368.82
36	368.82	368.82	368.82
37	368.82	368.82	368.82
38	368.82	368.82	368.82
39	368.82	368.82	368.82
40	368.82	368.82	368.82
41	368.82	368.82	368.82
42	368.82	368.82	368.82
43	368.82	368.82	368.82
44	368.82	368.82	368.82
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72	368.82	368.82	368.82
73	368.82	368.82	368.82
74	368.82	368.82	368.82
75	368.82	368.82	368.82
76	368.82	368.82	368.82
77	368.82	368.82	368.82
78	368.82	368.82	368.82
79	368.82	368.82	368.82
80	36		



## DIMENSIONING PLAN – PICNIC AREA 2



## LAYOUT PLAN – PICNIC AREA 2



GRADING PLAN – PICNIC AREA 2



**GATES**  
**+ASSOCIATES**  
LANDSCAPE ARCHITECTURE  
LAND PLANNING • URBAN DESIGN  
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T 925.736.8176 [www.dgates.com](http://www.dgates.com)

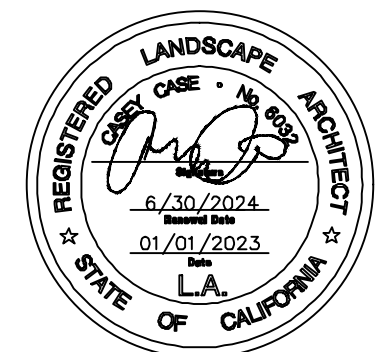
MORAGA  
COMMONS PARK

# COMMONS PARK PICNIC AREA RENOVATION

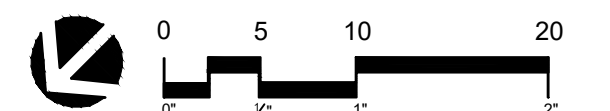
CIP 19-302

MORAGA, CALIFORNIA

ISSUE:	DESCRIPTION:	DATE:
--------	--------------	-------



PROJECT NUMBER: 5667  
DRAWN: BM/ GH  
CHECK: CG  
DATE: 02/01/2023  
SCALE: 1"=10'-0"



## PICNIC AREA 2

## L1.2

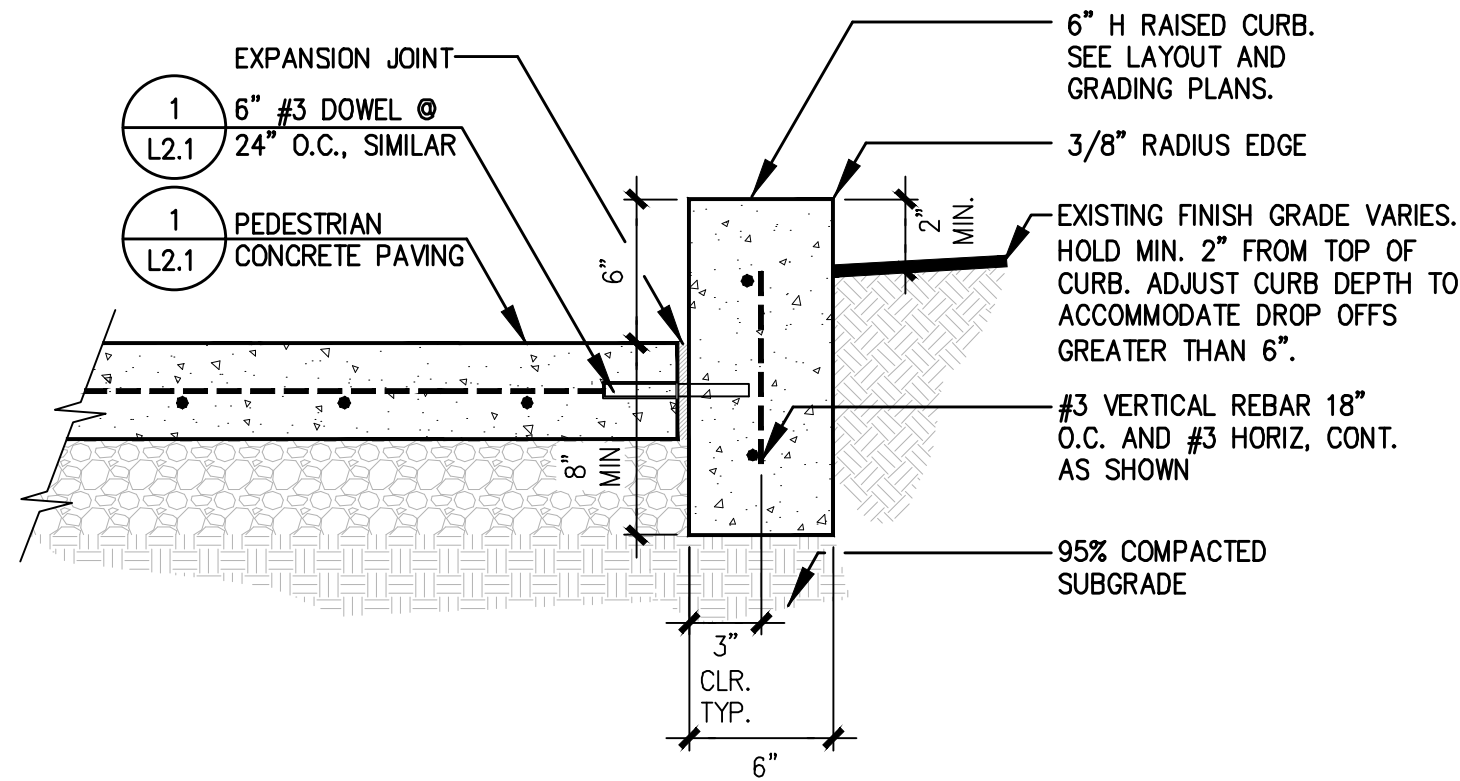




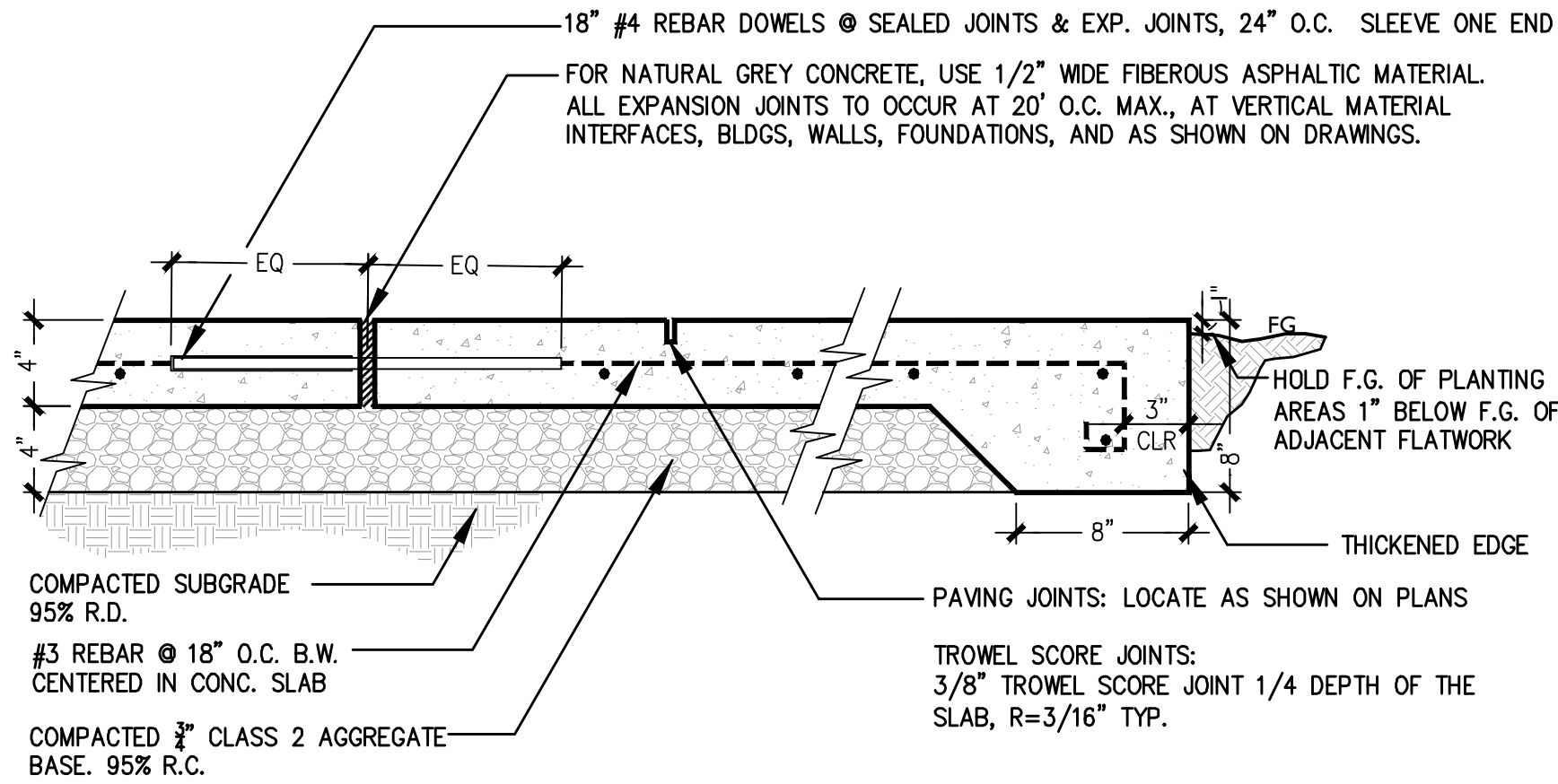
**GATES**  
**+ASSOCIATES**  
LANDSCAPE ARCHITECTURE  
LAND PLANNING · URBAN DESIGN  
1655 N. MAIN ST. STE 365, WALNUT CREEK, CA 94596  
T 925.736.8176    www.dgates.com

**MORAGA**  
**COMMONS PARK**

COMMONS PARK PICNIC  
AREA RENOVATION  
  
CIP 19-302  
  
MORAGA, CALIFORNIA



**2** CONCRETE CURB  
SCALE: 1 1/2" = 1'-0"



- NOTES:
1. DOWEL ALL NEW CONCRETE TO EXISTING CONCRETE PAVING, NEW CONCRETE CURBS, AND EXISTING CONCRETE CURBS.
  2. CONTRACTOR TO PROVIDE MOCKUP OF ALL COLORS, FINISHES, AND JOINTS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
  3. SEE LAYOUT LEGEND FOR COLOR & FINISH OF FLATWORK.
  4. ALL EXPANSION JOINTS TO OCCUR AT 20' O.C. MAX., AT MATERIAL INTERFACES, FOUNDATIONS, AND AS SHOWN ON DRAWINGS.

**1** CONCRETE PAVING  
SCALE: 1 1/2" = 1'-0"

ISSUE:    DESCRIPTION:    DATE:

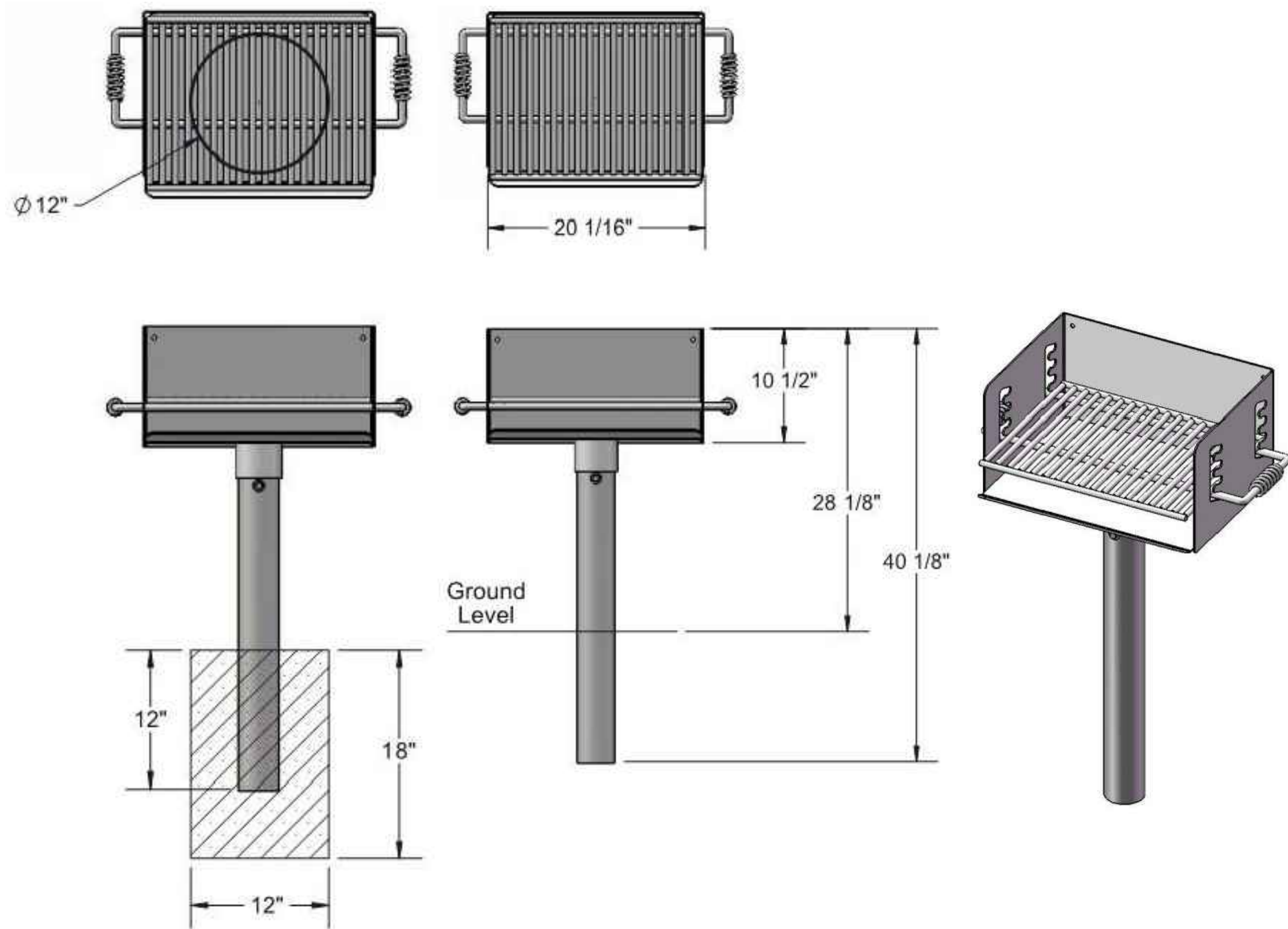


PROJECT NUMBER: 5667  
DRAWN: BM/ GH  
CHECK: CG  
DATE: 02/01/2023  
SCALE: AS SHOWN

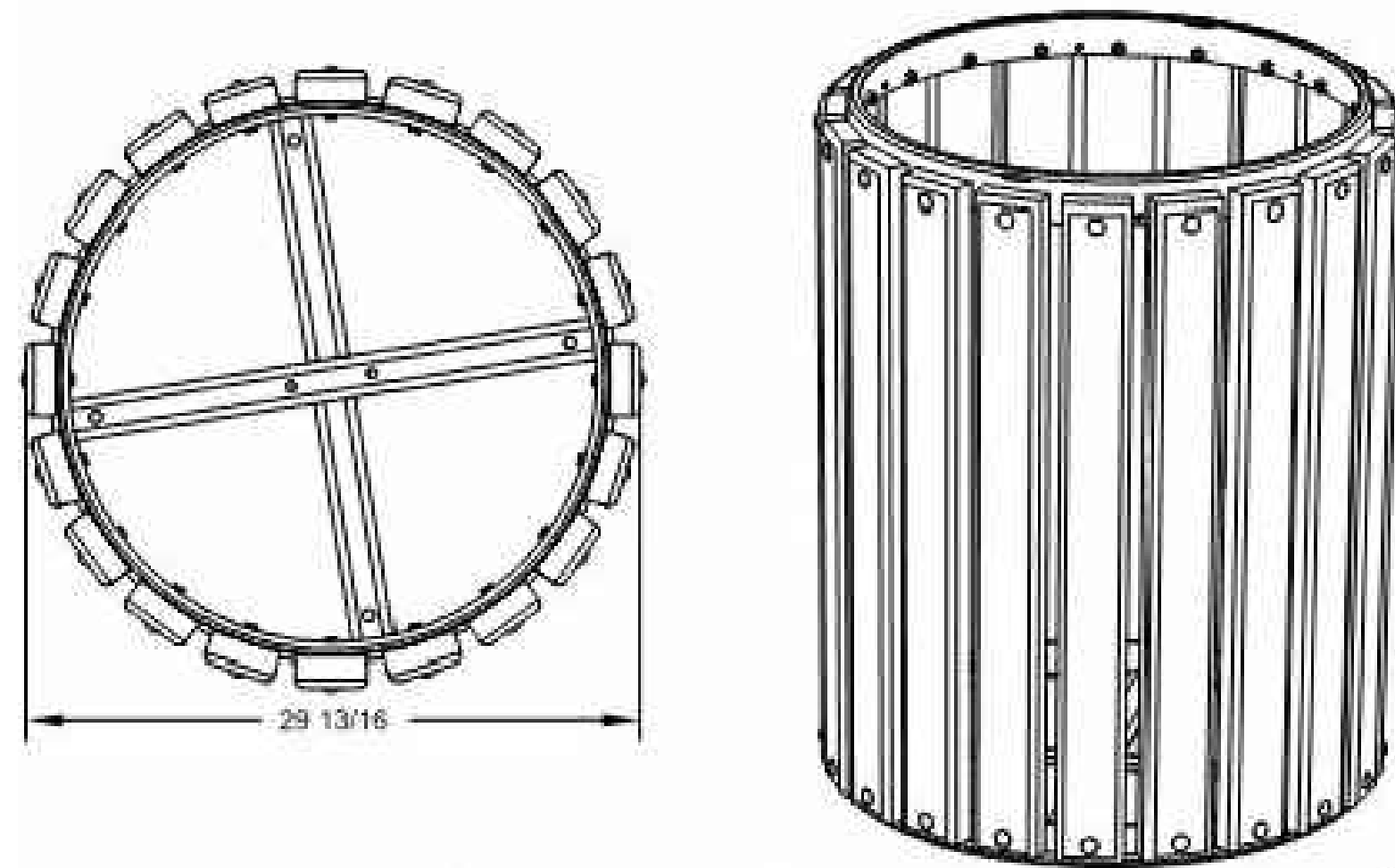
**PAVING AND WALL**  
**DETAILS**

**L2.1**

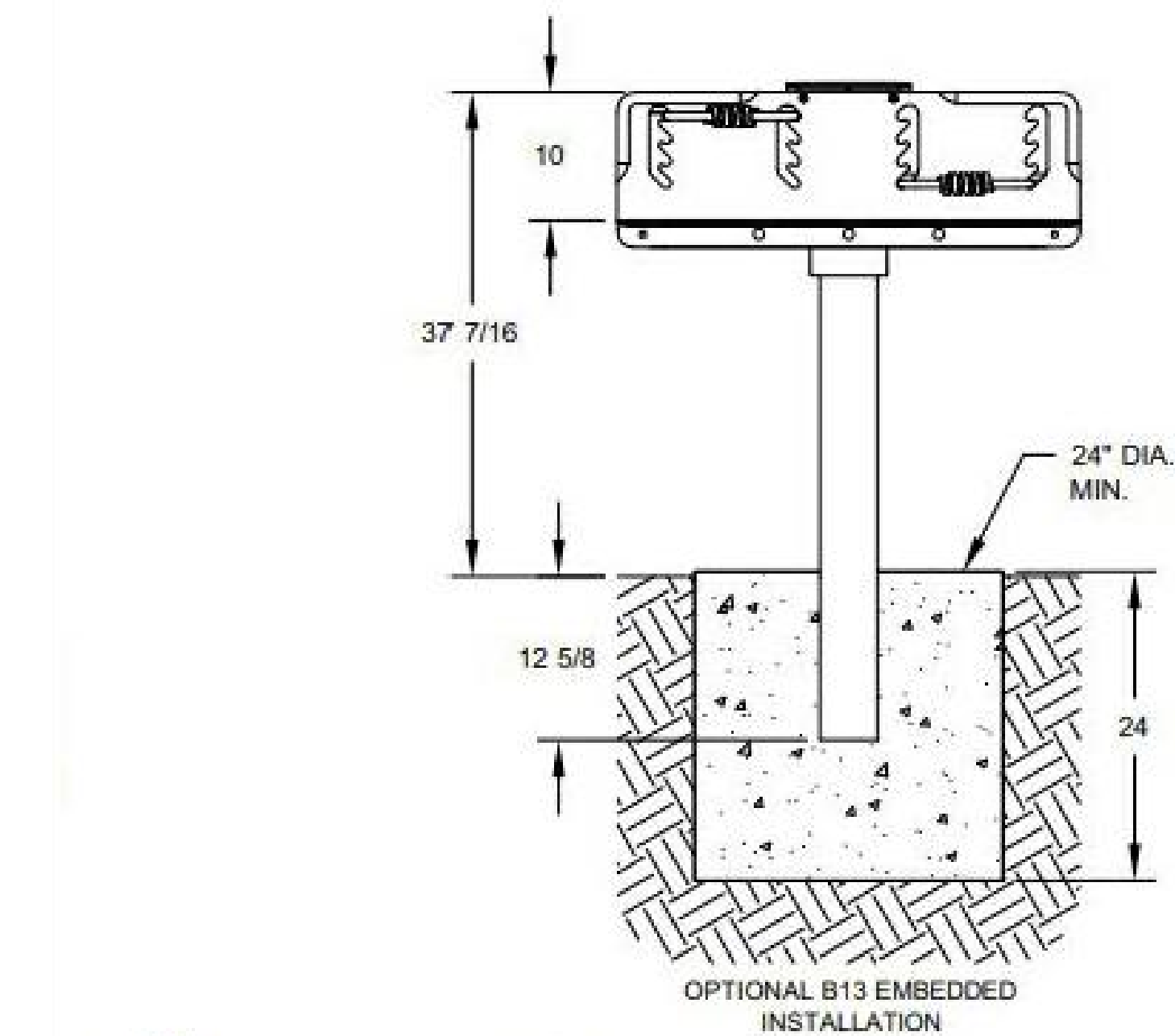
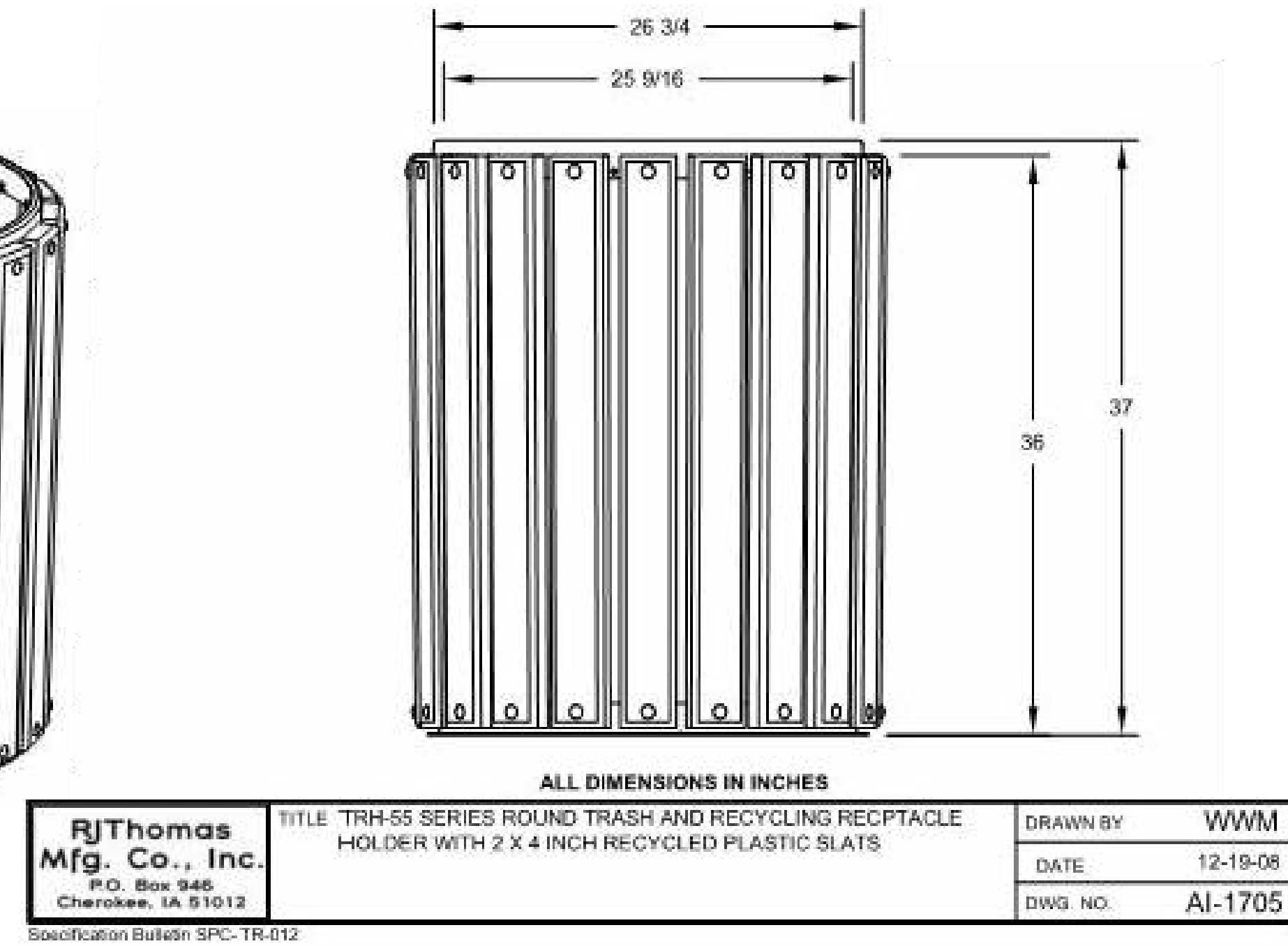




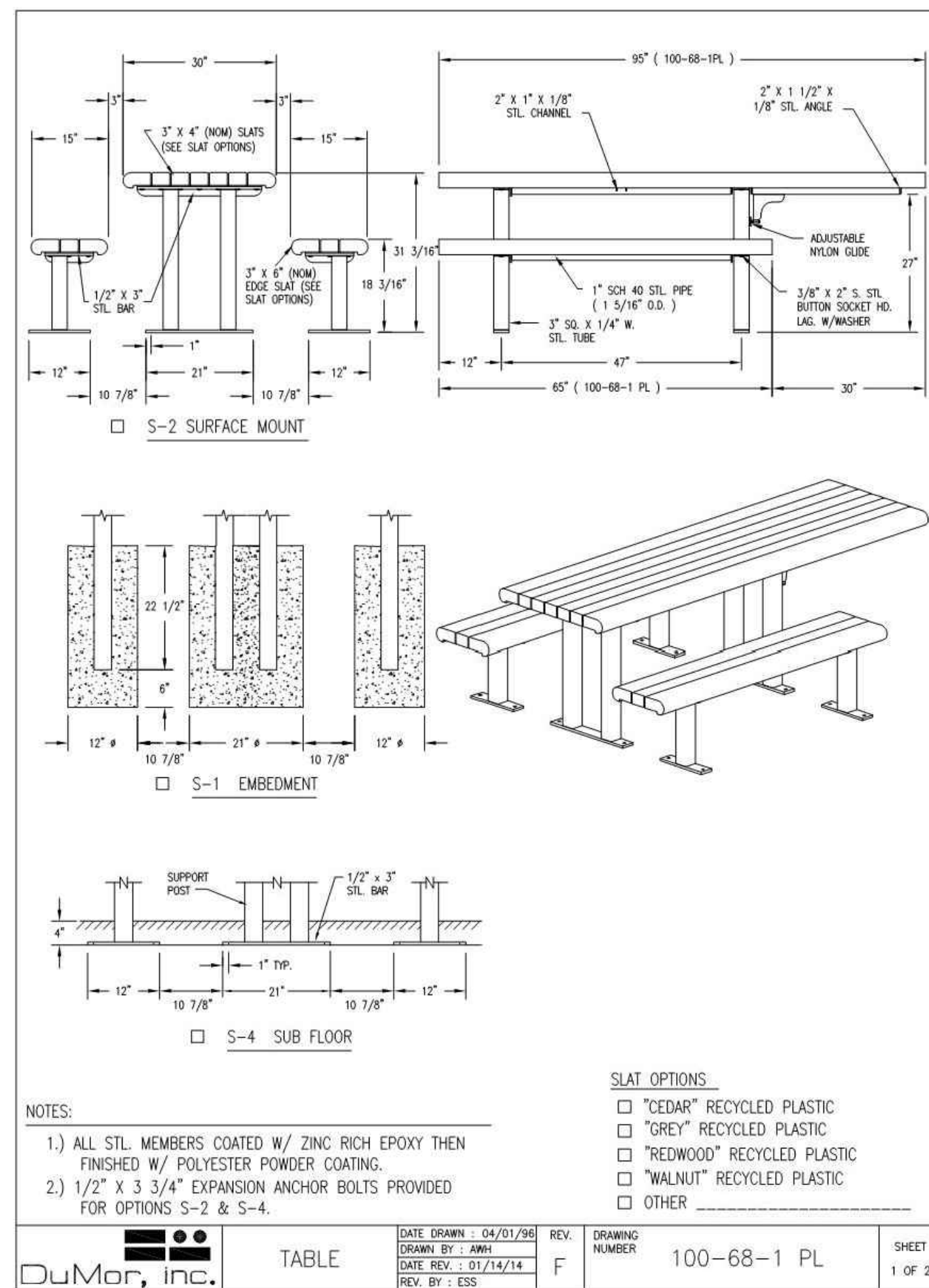
5 ACCESSIBLE GRILL  
N.T.S.



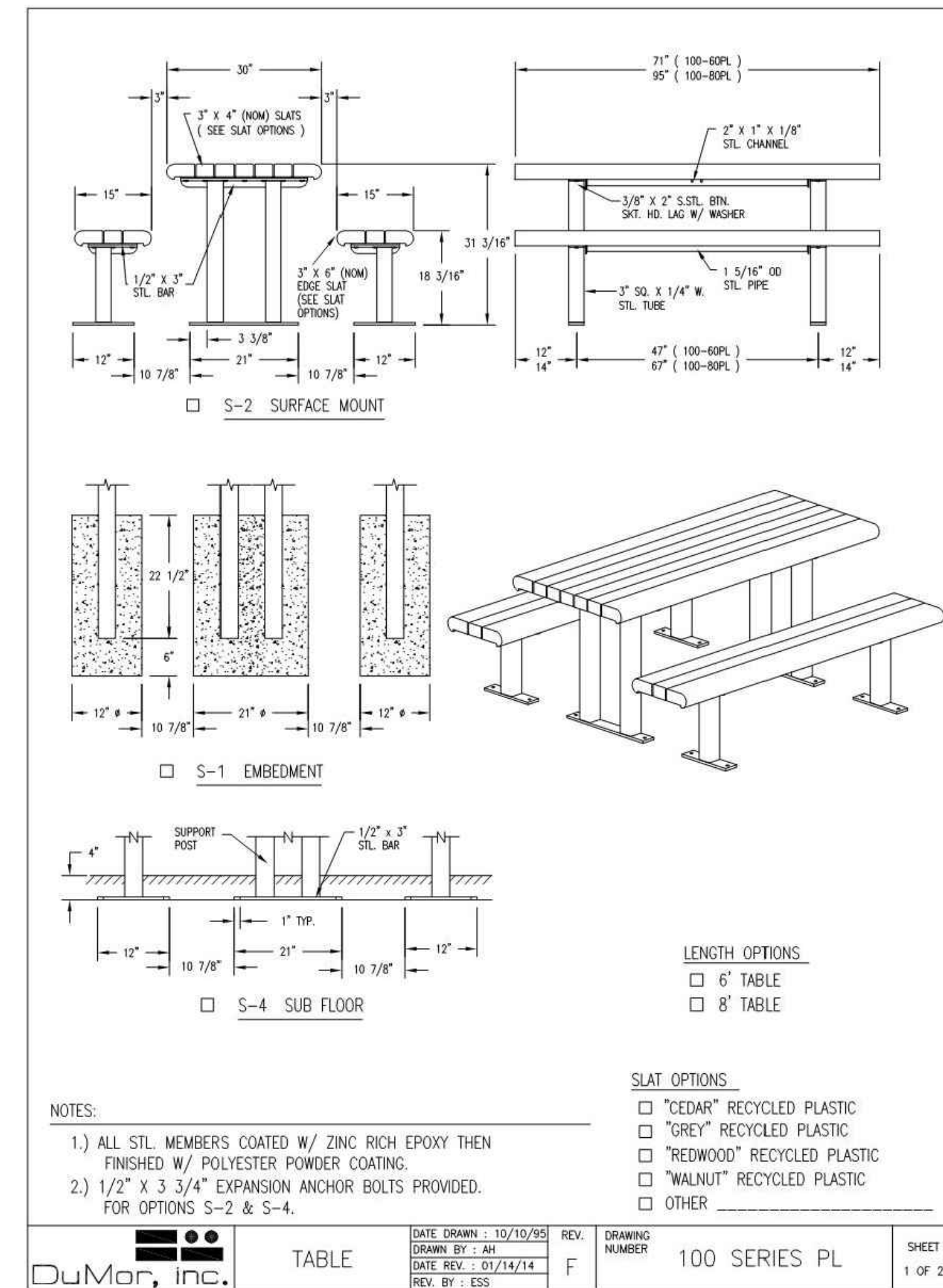
3 TRASH AND RECYCLING RECEPACLE  
N.T.S.



4 LARGE GRILL  
N.T.S.



2 ADA PICNIC TABLE  
N.T.S.



1 PICNIC TABLE  
N.T.S.



**GATES**  
**+ASSOCIATES**  
LANDSCAPE ARCHITECTURE  
LAND PLANNING · URBAN DESIGN  
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MORAGA  
COMMONS PARK

COMMONS PARK PICNIC  
AREA RENOVATION

CIP 19-302  
MORAGA, CALIFORNIA

ISSUE: DESCRIPTION: DATE:



PROJECT NUMBER: 5667  
DRAWN: BM/ GH  
CHECK: CG  
DATE: 02/01/2023  
SCALE: AS SHOWN

FURNISHING DETAILS

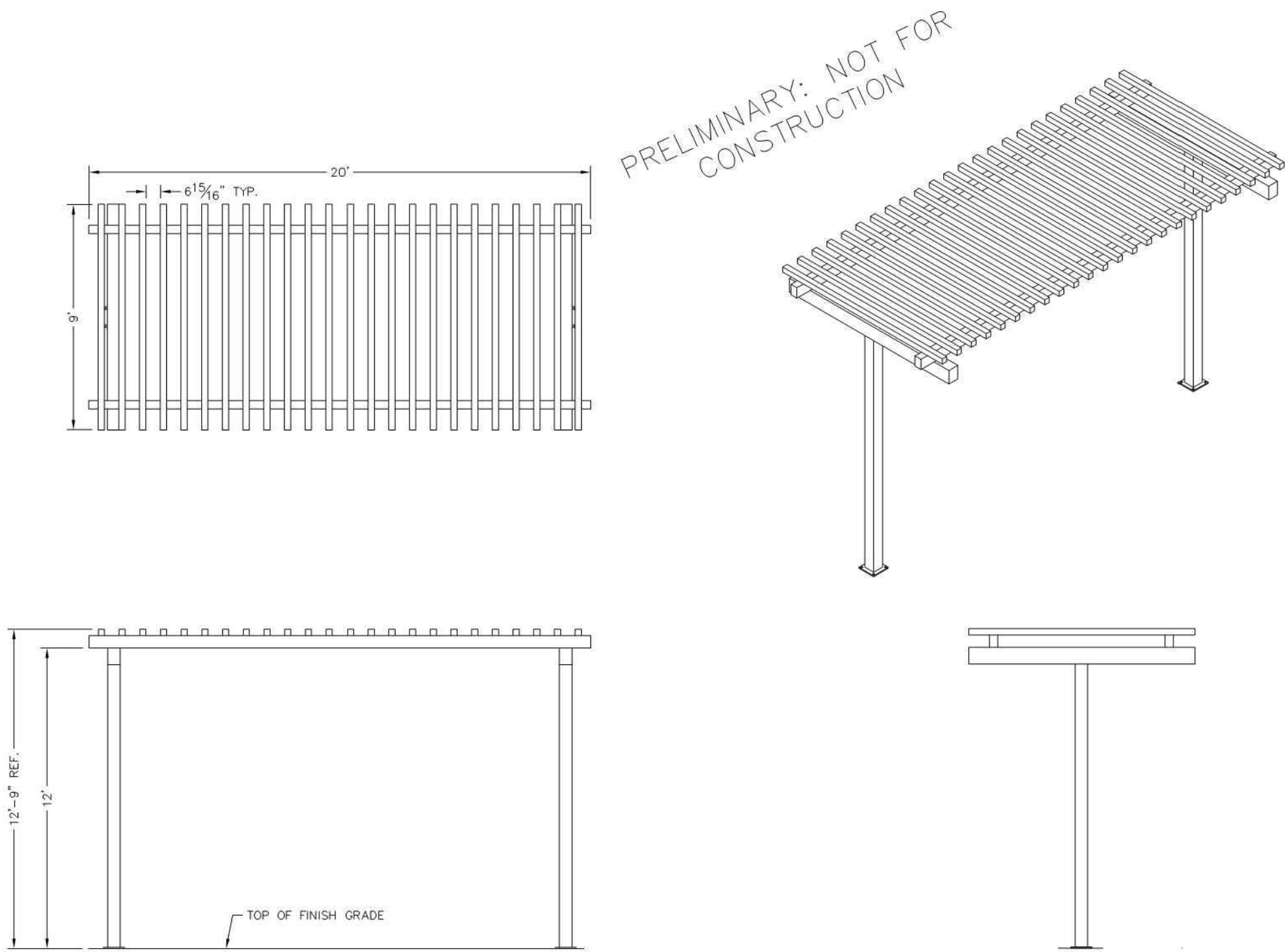
L2.2



PATH: P:\MORAGA\MORAGA COMMONS PARK (P5667)\ACAD\SHEETS\DC-D\_MCP.DWG  
PLOT DATE: 1/31/2023 4:22 PM

1

SHADE STRUCTURE BY ICON  
N.T.S.



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DISTINCTIVE STEEL ANCHORS  
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SYSTEMS, INC.

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IRVING, TX 75039  
936.764.0900  
936.764.0905  
936.764.0906

Elevation

DRAWN BY:  
KC

DATE:  
11/30/2015

JOB NO.:  
STANDARD

REVISION:

BUILDING TYPE:  
AS9X20-12K

PROJECT NAME:  
20-90-150

SHEET  
1.0

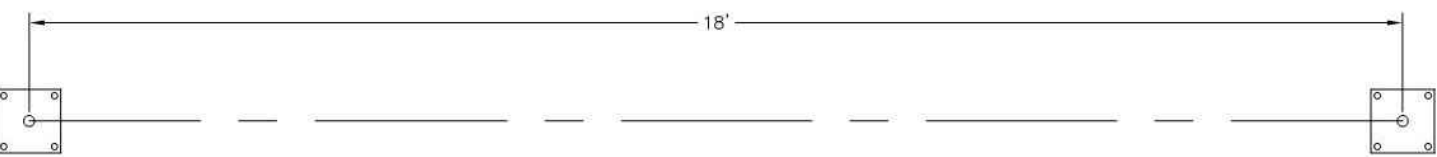
11/30/2015

LOADS TO FOUNDATION (KIP, KIP-FT)	FOUNDATION LOADS					CL
	AXIAL (P <sub>x</sub> )	SHEAR (P <sub>y</sub> )	SHEAR (P <sub>z</sub> )	MOMENT (M <sub>y</sub> )	MOMENT (M <sub>z</sub> )	
DL	1.17	-0.07	0.00	0.00	-3.84	
SL	1.26	-0.09	0.00	0.00	-4.85	
W-UPLIFT	-0.88	1.08	0.00	0.00	130.20	
W-FY	-0.88	1.08	0.00	0.00	130.20	
W-FZ	-0.56	-0.04	-0.35	54.18	-2.21	
E-FY	0.00	0.00	0.00	0.00	0.00	
E-FZ	0.00	0.00	0.00	0.00	0.00	

THESE FOUNDATION LOADS ARE FOR ESTIMATING PURPOSE ONLY.  
THE ACTUAL LOADS WILL BE DETERMINED IN THE FINAL ENGINEERING.

NOTES:  
- TABLE SHOWS UNFACTORED SERVICE LOADS  
- A FOUNDATION DESIGN HAS NOT BEEN PERFORMED BY ICON SHELTER SYSTEMS INC.  
- A LICENSED ENGINEER FAMILIAR WITH LOCAL CONDITIONS AT CONSTRUCTION SITE  
- MUST PERFORM A FOUNDATION DESIGN AS AN OPEN STRUCTURE  
- THE STRUCTURE HAS BEEN ENGINEERED AS AN OPEN STRUCTURE  
- COORDINATES ARE LOCAL TO THE COLUMN

DEFINITIONS:  
DL = SERVICE LEVEL DEAD LOAD REACTION WITH THE GREATEST AXIAL LOAD  
SL = SERVICE LEVEL SNOW LOAD REACTION WITH THE GREATEST AXIAL LOAD  
W-UPLIFT = SERVICE LEVEL WIND LOAD REACTION WITH THE GREATEST UPLIFT LOAD  
W-FY = SERVICE LEVEL WIND LOAD REACTION WITH THE GREATEST MAGNITUDE OF  
W-FZ = SERVICE LEVEL WIND LOAD REACTION WITH THE GREATEST MAGNITUDE OF  
E-FY = SERVICE LEVEL EARTHQUAKE LOAD REACTION WITH THE GREATEST MAGNITUDE OF  
E-FZ = SERVICE LEVEL EARTHQUAKE LOAD REACTION WITH THE GREATEST MAGNITUDE OF  
SHEAR IN THE LOCAL Y DIRECTION  
SHEAR IN THE LOCAL Z DIRECTION

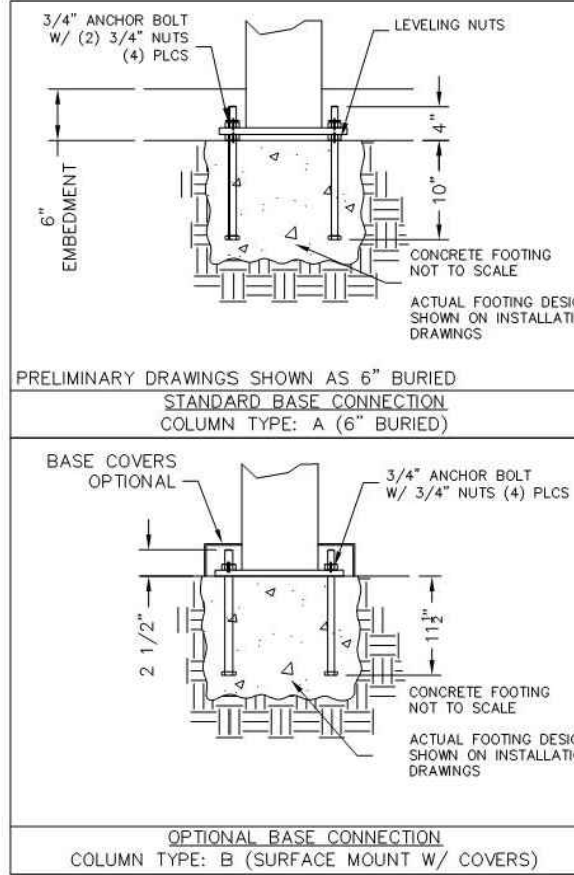


\*\*NOTE: TRELLIS STRUCTURE IS FOR DESIGN INTENT ONLY. CONTRACTOR SHALL PROVIDE SUBMITTAL INCLUDING FULL SHOP DRAWINGS, FOOTING DESIGN, AND STRUCTURAL ENGINEERING FOR REVIEW AND APPROVAL BY THE TOWN OF MORAGA. COLOR AND FINISH T.B.D. BY TOWN OF MORAGA.

PRELIMINARY: NOT FOR CONSTRUCTION

ALL STRUCTURAL COMPONENTS WILL BE:  
TUBE: ASTM A500 GRADE B  
PLATE: ASTM A36  
BOLTS: ASTM A325  
NUTS: ASTM A563  
WELDING: GMAW

NOTE:  
COLUMN SIZE: HSS 6x6x3/16



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IRVING, TX 75039  
936.764.0900  
936.764.0905  
936.764.0906

Anchor Bolt Layout

DRAWN BY:  
KC

DATE:  
11/30/2015

JOB NO.:  
STANDARD

REVISION:

BUILDING TYPE:  
AS9X20-12K

PROJECT NAME:  
20-90-150

SHEET  
2.0

11/30/2015



PROJECT NUMBER: 5667  
DRAWN: BM/ GH  
CHECK: CG  
DATE: 02/01/2023  
SCALE: AS SHOWN

FURNISHING DETAILS

L2.3