



Planning Commission

Staff Report

FOR COMMISSION ACTION
APRIL 6, 2015

Rancho Laguna II Subdivision

Conduct a Public Hearing and Consider Approval of the Precise Development Plan for the Rancho Laguna II Subdivision, a 27 unit Single Family Residential Development; (N-OS-PD/M-OS, ENS)

I. Application Basics

A. Overview and Requested Approval

The Rancho Laguna II Project is an approved 27-unit single-family residential subdivision, located on a 178.9 acre site located on Rheem Blvd. The Planning Commission approved a Conceptual Development Plan (CDP) in January of 2011, and a General Development Plan (GDP) and Vesting Tentative Map (VTM) for the project in April 2014. The requested approval of a Precise Development Plan is the final step of the three step Planned Development process under MMC Section 8.48.110. For approval, the Precise Development Plan must be consistent with the project's previously approved CDP and GDP/VTM.

B. CEQA Determination

The Town Council certified an EIR for the project on January 26, 2011. An Addendum to the EIR was prepared pursuant to CEQA Guidelines Section 15164(a) to address changes to the project in the General Development Plan and Vesting Tentative Map and the Mitigation Monitoring and Reporting Plan revised accordingly (Attachment G).

C. Parties Involved

- Applicant: SummerHill Homes LLC, 3000 Executive Parkway, Suite 450, San Ramon, CA 94583
- Property Owner: SummerHill RL LLC, 3000 Executive Parkway, Suite 450, San Ramon, CA 94583
- Architect: Dahlin Group, 5865 Owens Drive, Pleasanton, CA 94588
- Landscape Architect: Van Dorn Abed, 81 14th Street, San Francisco, CA 94103
- Engineer: P/A Design Resources, 3021 Citrus Circle, Suite 150, Walnut Creek CA 94598
- Geotechnical Engineer: Engeo, Inc. 2010 Crow Canyon Place, Suite 250, San Ramon, CA 94583

March 17, 2014	Planning Commission Public Hearing
April 21, 2014	Planning Commission Hearing: Approval of General Development Plan, Vesting Tentative Map, Grading Permit and Hillside Development Permit
June 9, 2014	Design Review Application submitted
August 25, 2014	Design Review Board Study Session
September 16, 2014	Revised plans submitted
October 21, 2014	Joint Planning Commission, Design Review Board and Parks and Recreation Committee Meeting
October 27, 2014	Design Review Board Meeting
February 12, 2015	Precise Development Plan Application Submitted
February 23, 2015	Letter deeming application incomplete
March 3, 2015	Revised plans submitted
March 23, 2015	Public meeting notices mailed/posted
April 6, 2015	Planning Commission Hearing: Consideration of Precise Development Plan

II. Background

A. Planned Development Process

The purpose of the PD District is to apply flexible regulations to a large-scale integrated development to provide an opportunity for cohesive design, and to allow for diversification in the relationship of uses, building structures, lot sizes and open spaces while ensuring compliance with the General Plan. Moraga Municipal Code Chapter 8.48 prescribes a three-step Planned Development process that includes approval of a Conceptual Development Plan, General Development Plan, and Precise Development Plan. During the Conceptual Development Plan phase, the environmental review of the project is conducted and the conceptual site plan, land uses, and development standards approved. The General Development Plan further refines and details the site plan, circulation, grading and development standards. At this time the Vesting Tentative Map, which entitles the subdivision, is approved. The final step in the planned development process is the Precise Development Plan, during which the final plans compliance with prior approvals is verified and any necessary adjustments are made.

B. Prior Approvals

1. CDP, GDP and Vesting Map Approvals

Prior approvals for the site include a Conceptual Development Plan, approved on January 26, 2011; a General Development Plan and Vesting Tentative Map was approved on April 21, 2014. In addition, a Zoning Text amendment to allow for a minimum 15,000 square foot lot size for projects providing open space/recreation amenities, within the N-OS-PD District, consistent with General Plan Policy LU1.3, was approved on May 28, 2014 becoming effective on June 25, 2014. The project in the approved CDP/GDP/VTM is described in more detail below, in the project description section. The overall site plan is illustrated in Figure 1. As shown, in addition to the 27 residential lots, the project includes significant areas that would be retained in open space with public trails.

During the deliberations and approvals of the Conceptual Development Plan, General Development Plan, Vesting Tentative Map, Grading Permit and Hillside Development Permit, the Planning Commission and Town Council considered the Town's Design Guidelines related to maintaining the Town's semi-rural character, protecting ridgeline and hillside areas, enhancing the Town's scenic corridors and minimizing the impacts of development. These approvals considered the location and distribution of proposed lots, circulation infrastructure, proposed building envelopes, building heights, massing and size, but not detailed project architecture and landscaping. The conditions of approval adopted by the Planning Commission required the design of the single family homes and final landscaping and lighting plan, including design of the proposed trailhead, to be reviewed and approved by the DRB prior to the Precise Development plan.

2. Design Approvals: Trailhead Design, Architecture, Landscaping and Lighting

On October 21, at a joint meeting, the Design Review Board, Planning Commission and Park and Recreation Commission (PRC) discussed the design of the trailhead and informal parking lot. While opinions varied on the quantity of parking spaces that should be provided, there was general consensus that the height of the trailhead kiosk should be reduced and that an alternative material to the railroad ties, which may contain creosote, should be used to define the parking area. Board and commission members recommended the addition of a trash receptacle and boulders as a landscape material. The Park and Recreation Commission members also expressed an interest in the future programming of the sign, which the applicant indicated they would develop in partnership with the PRC and the community.

On October 27, 2014 the Design Review Board reviewed the architecture and landscaping for the Rancho Laguna II subdivision. Board members generally appreciated the changes made to the architecture in response to feedback from an earlier study session, and some Boardmembers appreciated the proposed mix of traditional and contemporary materials. Commissioners discussed the consistency of the project design with the General Development Plan conditions, location of solar panels, the pedestrian circulation onsite and the design of the landscaping to both screen the development and protect views of the hillside and ridgeline. The DRB voted 4-0 to approve the Action Memorandum (Attachment B) approving the design for Rancho Laguna II Subdivision, with Board Member Zhu abstaining due to potential conflict of interest.

During the deliberations the board members reviewed the alternate kiosk and parking lot design and found that it addressed the concerns related to kiosk height and potential toxic materials in the railroad ties, and conditioned the project to incorporate the proposed alternate kiosk design that was presented.

Board members were concerned that there was no sidewalk connection from the 17 homes along Sonora Road (formerly 'E' Street) to the trailhead and pedestrian path on Fay Hill Road. The applicant explained that the sidewalk was omitted to minimize grading along the ridge. While Board members acknowledged the intent of excluding the sidewalk on Sonora Road, they felt that an off-street pedestrian path was important for safety and convenience of the future residents of the subdivision that would likely have many families. The DRB therefore conditioned the project to include a pedestrian path within the existing limits of grading.

The Design Review Board acknowledged concerns about the height and species of the trees used on the ridgeline and supported the recommendation from Preserve Lamorinda Open Space for replacement of the Western Redbud trees and Fruitless Olive from the landscape plans with Silk Tassel and Toyon. The DRB otherwise found the proposed architecture, landscaping and lighting to be consistent with the previous approvals, and with applicable design guidelines.

III. Project Setting

A. Neighborhood/Area Description

Undeveloped MOSO and non-MOSO open space areas border the project site to the north and east sides of the property, including the site of the approved future Palos Colorados subdivision. The East Bay Municipal Utility District's (EBMUD) Fay Hill Reservoir is on the northern property line of the site. The Lafayette/Moraga Regional Trail and surrounding open space is to the southeast of the site.

To the south and west are a mix of low-density residential development and open space. The property is bordered on the southwest by a neighborhood of single-family homes on relatively large lots, fronting on both sides of Rheem Boulevard. A large-lot single-family home and the Woodminster condominiums are located across Rheem Boulevard to the west of the site.

B. Site Conditions

The project site consists of undeveloped ranch land that is currently used for cattle grazing (Figure 1). A minor ridge traverses the site in a north-south direction. The highest elevation is approximately 950 feet above sea level on the north end of the site, and the lowest elevation is approximately 650 feet above sea level in the southeastern area of the site. The minor ridgeline breaks into three smaller ridges at the south end with two small intervening valleys. The minor ridgeline has steep east- and west-facing slopes with two wooded valleys on the east side. A portion of Coyote Creek flows south through the eastern portion of the property, and an unnamed seasonal creek flows south in the western portion of the property, next to Rheem Boulevard.

IV. Project Description

The proposed project is the Precise Development Plan (PDP) for the Rancho Laguna II subdivision; the final step of the Planned Development (PD) process. The PD requirements are intended to provide for coordinated planning of these large sites, following a three-step process that includes approval of a Conceptual Development Plan, General Development Plan, and Precise Development Plan. Each step of the Planned Development further refines the project plans in conformance with the standards of the prior approvals.

The approved development standards in the General Development Plan, Planning Commission Resolution No. 05-2014, are summarized in Table 3. These standards represent the minimum requirements for the lot and building design, and with which the project must comply.

Table 3: Development Standards Planning Commission Resolution 05-2014

Standard	Allowed
<i>Lot Dimensions</i>	
Minimum Lot Area	15,000 sq. ft.
Minimum Lot Width*	80 ft.
Minimum Lot Depth	100 ft.
<i>Setbacks and Building Separations</i>	
Minimum Front Yard Garage Setback*	20 ft.
Minimum Front Yard Living Area Setback	15 ft.
Minimum Side Yard Setback	5 ft.
Minimum Rear Yard Setback**	15 ft.
Minimum Aggregate Side Yard Setbacks	15 ft.
Minimum Building Separation between Primary Structures (measured from exterior face of wall)	15 ft.
<i>Other Standards</i>	
Maximum Lot Coverage	60%
Maximum Building Height, One-Story***	21 ft.
Maximum Building Height, Two-Story***	35 ft.
Maximum Building Stories	2
Floor Area Ratio (FAR)	Per Appendix D of the Design Guidelines. Lots over 20,000 sq. ft. shall not exceed an FAR of .341.

*Measured at a point parallel to front face of garage.

**Measured from the Rear Set Back Line or the Rear Property Line as shown on the project plans.

***See Condition 10 for lots that must be limited to single-story homes and lots that may have homes that may be single or two stories at applicant's election.

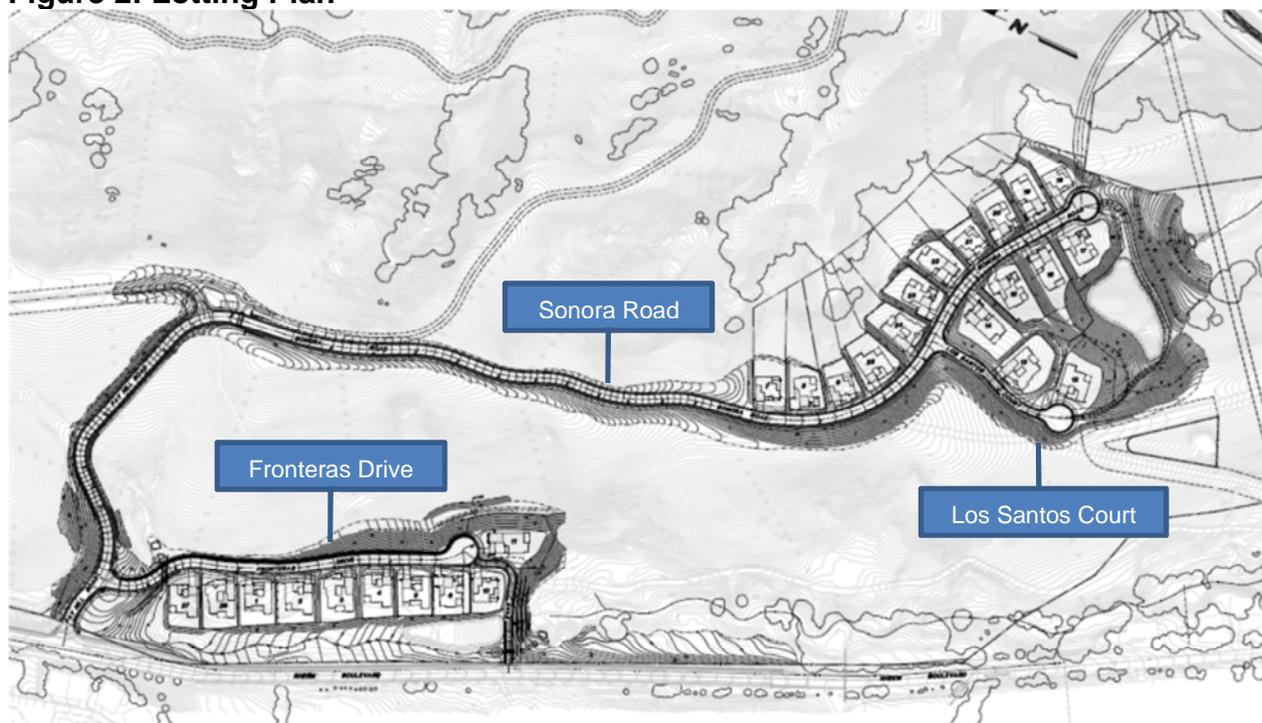
1. Site, Circulation, and Grading Plans

Consistent with the approved GDP/VTM the PDP includes development of 27 single-family homes on the 178.9-acre site. The 10,150 to 24,504 square foot lots will be clustered on 27 acres, leaving the majority, approximately 152 acres, of the site as open space. The residences will be located in two separate areas of the site, along Fronteras Drive ('D' Street on the VTM) adjacent to Rheem Boulevard and along two small courts in the southeast portion of the site on Sonora Road ('E' Street on the VTM), as shown in Figure 3. Ten residential lots would front on the west side of Fronteras Drive, with Lot 11 at the end of the cul-de-sac. The remaining 17 lots would front on the north side of Sonora Road, both sides of cul-de-sac, and the east side of Los Santos Court ('B' Court on the VTM). The rear portions of the lots on Sonora Road and Los Santos Court are restricted development areas with overland drainage easements.

Vehicles will enter the project from Rheem Boulevard on Fay Hill Road, an existing road that provides access to EBMUD's Fay Hill Reservoir and connects to the new roads, Fronteras Drive and Sonora Road. The internal streets will be privately owned and maintained by the HOA. An emergency vehicle access will connect from the south end of Fronteras Drive to Rheem Boulevard. The dimensions and configuration of the roadways and EVA access are as previously approved in the GDP/VTM. Consistent with the approved subdivision, the PDP also includes pedestrian paths, a public access trailhead and small parking lot at the top of

Fay Hill Road, with trails that lead into the open space area and towards the EBMUD reservoir; alternative design for the parking area is discussed below in the analysis section..

Figure 2: Lotting Plan



The grading plan is also consistent with the approved GDP. The Planning Commission considered the proposed grading plan in detail during review of the CDP/GDP, Grading Permit and Hillside Development Permit. During review and approval of the CDP/GDP the grading plan was substantially revised to reduce the limits of grading with approval of cut and fill slopes of up to 2:1. The approved subdivision will require substantial grading to repair Rheem Boulevard, to correct landslides, for the internal street system, and to provide for building pads.

2. Architecture and Landscaping

The architecture and landscape plans in the PDP, and the associated color and materials palettes (Attachment E. ii and iii, and Attachment F), are consistent with development standards and conditions of the GDP/CDP and the DRB approvals. The DRB approved, in total, 14 different home designs for the subdivision. The architecture for the 27 residences consists of six floor plans, three of which would be single story and three would be two-story. Each floor plan has 2-3 elevations designed to reflect one of three architectural styles: Craftsman, California Ranch and Bay Classic. Five plant palettes were approved, tailored to different locations on the project site varying from the formally landscaped front yards to natural open space. Entry features made of stone pilasters and split rail fences with clusters of small trees and shrubs are proposed for the intersections at Rheem Boulevard, Fronteras Drive, and Sonora Road.

V. Community Discussion

The public meeting notice was mailed to 198 property owners within a 750-foot radius of the site and posted near the site on March 24, 2015.

V. Issues and Analysis

The Precise Development Plan is the third and final step in the Planned Development process. The PDP incorporates the conditions and changes from the Planning Commission approval of the General Development Plan, design review, and modifications to the site plan and improvements that occur as plans are refined and elaborated. The PDP must substantially conform to the standards for the approved Conceptual Development Plan and General Development Plan. The criteria of “substantial conformance” recognizes that, as the project moves through more detailed and specific design and engineering, with development of construction plans, improvement plans and engineered grading plans, that some details of the project may be adjusted or revised; however, such revisions must not such that the findings or bases for prior approvals could no longer be made, or that previously applied conditions of approval would not be met.

The project description above outlines the major aspects of the project, including the layout, site plan, landscape, and road and trail system, which correspond to the approved GDP/VTM.

The following analysis provides a summary and analysis of the proposed Precise Developments Plan’s conformance to the approved development standards, modifications to the project, and compliance with other conditions of approval.

A. Conformance with General Development Plan Standards

A comparison of the proposed lot and building dimensions, setbacks and other standards to the approved development standards is provided in Table 4. The proposed lots and homes all conform to the project’s approved development standards, with the possible exception of the lot width for Lots 7 and 27, and aggregate side yards of Lot 27.

Table 4: Development Standards

Standard	GDP/VTM	PDP
<i>Lot Dimensions</i>		
Minimum Lot Area	15,000 sq. ft.	18,901-27,912 sq. ft.
Minimum Lot Width*	80 ft.	75 to 150 ft.
Minimum Lot Depth	100 ft.	180-250 ft.
<i>Setbacks and Building Separations</i>		
Minimum Front Yard Garage Setback*	20 ft.	20 - 27.9 ft.
Minimum Front Yard Living Area Setback	15 ft.	15 - 39.5 ft.
Minimum Side Yard Setback	5 ft.	5 - 52.4 ft.
Minimum Rear Yard Setback**	15 ft.	16.3 - 94.9 ft.
Minimum Aggregate Side Yard Setbacks	15 ft.	11 - 66.4 ft.
Minimum Building Separation between	15 ft.	20.5 – 57 ft.

Primary Structures (measured from exterior face of wall)		
Other Standards		
Maximum Lot Coverage	60%	12-39 %
Maximum Building Height, One-Story***	21 ft.	21 ft.
Maximum Building Height, Two-Story***	35 ft.	28 ft
Maximum Building Stories	2	1 – 2
Floor Area Ratio (FAR)	Per Appendix D of the Design Guidelines. Lots over 20,000 sq. ft. shall not exceed an FAR of 0.341.	0.176 – 0.294

*Measured at a point parallel to front face of garage.

**Measured from the Rear Set Back Line or the Rear Property Line as shown on the project plans.

***See Condition 10 for lots that must be limited to single-story homes and lots that may have homes that may be single or two stories at applicant's election.

Lot Width and Aggregate Side Yard Setbacks: The location and building envelope for Lot 7 and 27 did not change from that in the approved GDP and VTM. For Lot 7 the width of the lot was reduced during the CDP as part of efforts to shift the residences on Sonora Road southward and reduce visibility. This change was not noted in the conditions of the GDP, but was shown on the map. The dimensions of Lot 7 did not change from the GDP to PDP. For Lot 27, however, GDP/VTM Condition number 29 required that the seasonal wetland swale, drainage and open space easement adjacent to Rheem Boulevard be made a separate parcel from the residential lots on Fronteras Drive, which affected the lot dimensions. The swale and easements crossed the rear yards of Lots 1-6, 10 and 26-27, and the side yard of Lot 27. As a result the width of Lot 27 was reduced by 24 feet, to 75 feet, and the property line was relocated to the edge of the building envelope shown on the VTM.

The proposed residence on Lot 27 was designed to fit within the building envelope established by the GDP and shown on the VTM with the minimum front, side and rear setbacks. However, due to the adjusted side property line, Lot 27 no longer strictly conforms to the minimum lot width of 80 feet and aggregate side yard setback of 15 feet. Condition #29 permitted the affected lots to continue to use the lot dimensions shown on the VTM for the purposes of calculation lot area and floor area ratio, recognizing that in order to allow for HOA ownership of a common facility, the adjacent private lot area would be reduced. This provision also respects the fact that this area will essentially remain as open space, and retains the buffering and separations otherwise obtained by specifying minimum lot sizes and setbacks. On this basis, staff recommends that the development standards for Lot 27 (and lot 7) be modified to allow a lot width of 75 feet and associated aggregate side yard setback of 10 feet. Proposed condition of approval 10 in the draft resolution would amend the stated lot width and aggregate side yard setback standards of Lot 7 and 27 accordingly.

B. Pedestrian Path

The Design Review Board applied a condition of approval to the project requiring “a four foot decomposed granite or concrete path” from the trailhead area to Lot 7 on the northeast side of Sonora Road. The DRB included the caveat that if the path could not be included within the existing defined limits of grading which would not comply with the

project's conditions of approval, the addition of the decomposed granite path may be referred to Planning Commission.

After reviewing designs provided by the applicant, it was determined that placement of the path on the northeast side of Sonora Road would require retaining walls and additional fill due to the adjacent downslope. The pedestrian path is therefore proposed on the western side of Sonora Road to connect the four foot AC path on Fay Hill Road to the intersection with Los Santos Drive. The proposed path, shown on Sheets GR-03 and GR-04 of the Grading Plans (Attachment E. iv) is within the existing limits of grading, and would not require retaining walls. Staff believes this meets the intent of the DRB's condition and is consistent with the project's GDP/VTM conditions of approval.

C. Trailhead Parking Area

The location and form of the trailhead parking area was discussed at the March 17, and April 21, 2014 Planning Commission hearings during the consideration of the General Development Plan and Vesting Tentative Map. The CDP conditions of approval, adopted by the Town Council, required trailhead parking to be provided, and the location of this parking was generally shown as being located at the 'E' Street/Sonora Road and Fay Hill Road intersection, in an area that would be screened by a landscape berm.

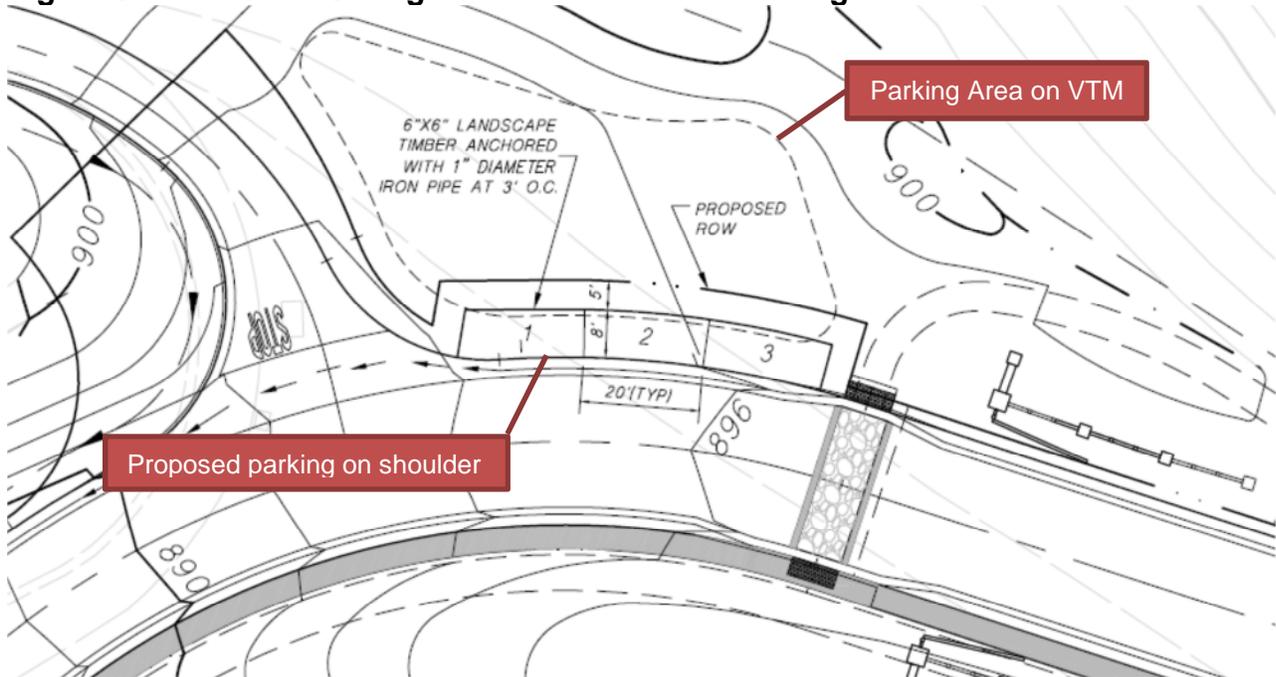
At the March 17th meeting members of the public and some members of the Planning Commission expressed concern that the location of the parking area was not keeping with the intent of the General Plan to protect ridgelines from development. In response, at the April 21st hearing, the applicant provided an exhibit displaying an alternate location for the trail parking within the Town's right-of-way along Rheem Blvd. The Planning Commission discussed the MOSO provisions regarding development on ridgelines that permit roads to cross ridgelines but are not explicit as to whether associated facilities, like parking areas, are included. Commissioners expressed concern about locating the parking on Rheem Boulevard because of the high speed of traffic, visibility and inconsistency with the design guidelines for a scenic corridor. The Planning Commission approved the Vesting Tentative Map with the parking area called out at the top of Fay Hill and the condition that "an informal public parking area shall be provided and shall be located and designed to minimize visual impacts to residents and from the public right-of-way and shall be subject to DRB approval" (GDP/VTM COA #20).

The design of the trailhead parking area shown on Sheet 2 of the Precise Development Plan is consistent with that approved by the DRB, and comprises gravel area with four pull in parking spaces, edged with white pine boards. No lighting, fences, walls or other structures aside from the 3-foot high tabletop style trail information kiosk are proposed.

Since the DRB approval, the applicant has presented an alternative parking configuration (Attachment C) that would further minimize the appearance of the parking area, while still locating parking in the area indicated on the Vesting Tentative Map (Figure 3). The alternative design would widen a portion of the right-of way Fay Hill Road to create a gravel shoulder. Three cars would be able to park parallel within this area. This would reduce the available parking by one space from the approved parking lot, but would appear as an extension of the roadway instead of a separate parking area. Staff believes

this proposal would meet GDP/VTM condition 20. Condition of approval number 12 in the draft resolution approves this alternative parking configuration.

Figure 3: Alternative Configuration of Trailhead Parking



D. Other Conditions of Approval

1. Fences

GDP/VTM Condition of Approval number 27.c required the fences to the rear of lot a 1, 2, 3, 4, 5, 6, 10, 11, 26, and 27 to be wire mesh deer fences, or a design approved by the Design Review Board. The DRB reviewed the proposed design for a 6 foot tall 'good neighbor' fence with 1 foot of lattice along the top. The DRB considered the fence design appropriate because it provided more privacy to the resident than a deer fence, has the partially open lattice top, and would be screened by the landscaping in the seasonal wetland mitigation area from Rheem Blvd. The DRB approved the design that is shown in detail A on Sheet L2.2 of the Landscape Improvement Plans (Attachment E.iii).

2. Seasonal Wetland Mitigation Area Landscape Plan

Condition 9.c of the GDP/VTM required that the tree species selected for the landscape area adjacent to Rheem Blvd be selected to screen the residences on Fronteras Drive, but not grow so tall as to block the upper hillside and skyline views from Rheem Boulevard. Condition 9.h required that the plant palette and location of such plantings be consistent with the recommendation of a restoration ecologist since in the constructed wetland area.

In the landscape plans approved by the DRB the applicant proposed a palette of riparian plants recommended by their consulting ecologist, Zenter and Zentner that included five species of low growing native trees: arroyo willow, red willow, Fremont cottonwood, California buckeye and California boxwood. After the DRB approval, the applicant did

further of study of the sightlines from Rheem Blvd and determined that any landscaping greater than 10 feet in height could block views upper hillside and ridge due to the proximity of the landscaping to the roadway. To comply with GDP/VTM Condition 9.c, Zentner and Zentner revised the plant palette to replace the previously proposed trees with smaller trees and shrubs including western redbud, ceanothus, coffeeberry and red twig dogwood (Attachment D). Condition of approval 13 in the draft resolution would require the revised wetland planting plan to be peer reviewed by the Town's biological resources consultant, and require Design Review Board approval of any significant changes to the approved planting plan.

VI. Recommendation

Based on the proposed Precise Development Plan conformance with the approved Conceptual Development Plan, General Development Plan, and Moraga General Plan, staff recommends that the Planning Commission adopt the attached Resolution adopting findings required by MMC Section 8.48.100, in accordance with the requirements of Section 8.48.120, and approving the Precise Development Plan, subject to conditions.

Attachments:

- A. Draft Resolution
- B. Design Review Board Action Memorandum, October 27, 2014
- C. Alternative Parking Exhibit
- D. Mitigation Plan Upper Rheem Creek Planting Detail
- E. Project Plans, received click and enter date
 - i. Precise Development Site Plan
 - ii. Architectural Plans
 - iii. Landscape Improvement Plans
 - iv. Grading Plans
- F. Color and Material Palettes
- G. Mitigation Monitoring and Reporting Plan
- H. General Plan Policy Matrix, March 2014

Staff Planner: Ella Samonsky, esamonsky@moraga.ca.us, (925) 888-7042

ATTACHMENT A

DRAFT RESOLUTION

BEFORE THE TOWN OF MORAGA PLANNING COMMISSION

In the Matter of:

Resolution No. __-15 PC

Approval of a Precise Development Plan)
for the Rancho Laguna II Project)
(Subdivision 9330), a 27-Unit Single Family)
Residential Development)

File No. PDP 1-15

Adoption Date: April 6, 2105

Appeal Period Ends: April 16, 2015

WHEREAS, on February 25, 2005 an application was filed for a Conditional Use Permit (CUP) and Conceptual Development Plan (CDP) for a 35 lot single-family residential project with associated open space and other public amenities, entitled Rancho Laguna II (Applicant's earlier Rancho Laguna I application had been withdrawn following completion of its Draft Environmental Impact Report and its circulation for public comments); and

WHEREAS, on August 17, 2009, the Planning Commission unanimously adopted Resolutions 10-2009, 11-2009 and 12-2009 certifying the Final EIR and approving the Conceptual Development Plan and Conditional Use Permit, respectively, for the project with 27 lots for single-family homes; and

WHEREAS, the Town Council considered an appeal from the Planning Commission's decision at public hearings on October 28 2009, May 26, 2010, October 27, 2010, January 26, 2011 and considered and approved continuances on November 4, 2009, January 27, 2010, March 10, 2010, May 26, 2010, January 12, 2011, and received detailed input and testimony from appellants and Applicant, as well as others; and

WHEREAS, in response to direction from the Town Council the project was modified; and

WHEREAS, the Town Council determined, that with the project modifications: (1) significant environmental impacts of the project would be less than significant as mitigated; (2) the modified project would result in no new significant impact and no increase in the severity of an existing significant impact; instead, the project changes would further reduce impacts to the intermittent drainage in the lower valley and as to the visual quality of the project from public viewpoints of concern; and

WHEREAS, on January 26, 2011 the Town Council certified the Final EIR (SCH# 2003022062) and approved the Conceptual Development Plan and Conditional Use Permit for the Rancho Laguna II project with 27 lots for single-family homes; and

WHEREAS, on December 20, 2012 SummerHill Homes (applicant) and Rancho Laguna LLC (owners) filed an application to develop a 27 unit single family residential subdivision on a 178.88-acre parcel (APN: 256-040-024) located off Rheem Boulevard, zoned MOSO Open

Space (OS-M) and Non MOSO Open Space (N-OS-PD) consistent with the previously approved Rancho Laguna II Conceptual Development Plan; and

WHEREAS, the applicant consulted with interested parties and based on these consultations revised the plans and submitted two versions of the plan on November 1, 2013; and

WHEREAS, the Town of Moraga held a study session with the Planning Commission on December 3, 2013 to consider and provide input on the two versions of the plan and directed that the revised version of the plan titled "Alternative Site Plan" should be considered at a public hearing; and

WHEREAS, the applicant has made revisions to the proposed plans to respond to comments provided by the Planning Commission and by members of the public at the study session; and

WHEREAS, on March 17, 2014 the Planning Commission opened a public hearing to consider the applications and the Planning Commission received testimony from the applicant and interested parties, and the hearing was continued to April 21; 2014; and

WHEREAS, a CEQA Addendum was prepared and presented as part of the Staff Report for the March 17, 2014 Planning Commission meeting and public hearing to analyze changes to the project since approval of the CDP, including revisions to the grading plan, and the Addendum concludes that no new significant impacts were identified because specific measures from the adopted MMRP would mitigate any potential impacts, including revised trail alignments considered by the Planning Commission on April 21, 2014; and

WHEREAS, at the continued public hearing on April 21, 2014 the Planning Commission received and discussed updated information from staff and the applicant concerning certain aspects of the project, including an alternative location for the proposed trail parking, modified trail plan, and revised condition of approval regarding street lighting, among other minor changes to the draft Conditions of Approval; and the Planning Commission adopted Resolution 5-14 approving a General Development Plan, Vesting Tentative Map, Grading Permit, Hillside Development Permit; and

WHEREAS, on October 21, 2014, at a joint meeting the Planning Commission, Design Review Board and Parks and Recreation Committee commented on the design of the trail facilities; and

WHEREAS, on October 27, 2014, the Design Review Board held a duly-noticed public meeting to consider design-related aspects of the project, including conformance of the project site plan, circulation, architecture, and landscaping and approved an Action Memorandum for the project design review, directing minor revisions to the plan that remained consistent with the prior approvals, including addition of a pedestrian path from the trailhead to homes along 'E' Street, and design of the trailhead informational signage kiosk; and

WHEREAS, on February 12, 2015 SummerHill Homes filed an application for the Precise Development Plan, under MMC Section 8.48.110; and

WHEREAS, public hearing notices were mailed to all property owners within 500 feet of the subject property on March 24, 2015; and

WHEREAS, on April 6, 2015, the Planning Commission a duly-noticed public meeting to consider the PDP and its conformance of the project site plan, circulation, architecture, and landscaping to the approved General and Conceptual Development Plan.

NOW, THEREFORE, BE IT RESOLVED, the Planning Commission of the Town of Moraga hereby finds and determines as follows:

- 1) The Town Council certified the Final EIR (SCH# 2003022062) for the project on January 26, 2011, and the Planning Commission adopted an Addendum to the Final EIR on April 21, 2014, which addresses the proposed project, including approval of the Precise Development Plan. 2014; and
- 2) There are no substantial changes proposed in the project, substantial changes with respect to the circumstances under which the project will be undertaken or new information of substantial importance of the type that would require additional environmental review pursuant to Section 15162 of the CEQA Guidelines; and
- 3) The Precise Development Plan will substantially conform in all aspects to the approved Conceptual Development Plan and General Development Plan, including 27 single-family homes on individual lots and associated improvements, in a configuration and with dimensions consistent with the prior approvals, 162 acres of permanently protected open space with publicly accessible trails, and repairs and improvements to Rheem Boulevard. Conditions of approval have been specified that 1) allow for a minor amendment to the minimum aggregate side setbacks and lot width of Lot 27 to accommodate the required creation of a separate parcel that encompasses the drainage and open space easements adjacent to Rheem Blvd, 2) reorients the parking for the trailhead to create three unpaved parallel spaces within the shoulder of Fay Hill Road, and 3) adds a pedestrian path on the west side of Sonora Road (formerly identified as 'E' Street) consistent with the intent of condition of approval number 6 of the Design Review Board Action Memorandum of October 27, 2014. These minor modifications do not affect the consistency of the plans to the development standards of the approved General Development Plan, and are in substantial conformance with other aspects of the prior approvals; and
- 4) The Precise Development Plan in all other respects is consistent with the General and Conceptual Development Plan and all relevant conditions of approval.

1. CONCEPTUAL DEVELOPMENT PLAN FINDINGS

The Town Council of the Town of Moraga made findings to approve a Conceptual Development Plan (Minute Order 01-2011), pursuant to Moraga Municipal Code Section 8.48.100, and, since the Precise Development Plan is consistent with the Conceptual Development plan, the Planning Commission hereby makes the same findings for the Precise Development Plan, as follows:

- (a) The total development and each unit of development can exist as an independent unit capable of creating an environment of sustained desirability and stability or**

that adequate assurance will be provided that this objective will be attained and that the uses proposed will not be detrimental to present and potential surrounding uses.

The 27 Lot Rancho Laguna II Project ("Project") is designed as an independent neighborhood unit in an environment of sustained desirability and stability and without any significant environmental impacts. It will be semi-rural in nature with more than 90% of the 180 acre site maintained by the Geologic Hazard Abatement District (GHAD) as permanent open space (162 acres). The residential development (lots and roads) is 17.3 acres, comprised of the upper Rheem valley area with 8 lots and Fronteras Drive (formerly 'D' Drive) and a southern plateau/upper development area with 19 lots connected to Rheem Blvd. by Sonora Road (formerly 'E' Street). The lots sizes are large on flat, sloped or split pads, ranging from approximately 16,000 to 43,000 square feet.

The open space will be preserved in a conservation easement and includes public trails. The Minor Ridgeline and Coyote Creek areas in MOSO Open Space are preserved in their entirety. Residential development in the valley will be limited to a shortened Fronteras Drive with 8 wide, spacious residential lots. The Final Landscape Plan in the upper and lower valleys will buffer the single-story homes and maintain open views of the valley, hillsides and ridgelines for travelers on Rheem Boulevard, a scenic road. All visual quality impacts of the Project as viewed from Rheem Boulevard will be less than significant. Due to their location, the grading plan and the surrounding topography, the 19 homes clustered on the southern plateau will have beautiful views but at the same time, views of that new development from public locations will be limited and any significant visual quality impacts will be mitigated. The homes and lot landscaping will be subject to design review and designed with varied building heights, styles and setbacks so the neighborhood blends with the environment instead of overpowering it. The development areas (lots and roads) on the Project will be geotechnically stabilized. They will be located a safe distance from and protected against the landslide areas in the open space. Stormwater drainage will be designed to maintain that stability. Stormwater peak runoff off site will be no more than the existing condition, and potentially less than existing conditions during large storm events. Stormwater water quality features are designed into the project. Improved emergency vehicle access and GHAD implementation of the Fire Hazard Management Plan will enhance long term neighborhood safety.

Implementation of the Mitigation Measures and Conditions of Approval of the Project as approved by the Town Council, Planning Commission and Design Review Board, incorporated and referenced herein, will assure the Project as a whole, and each of its units, can exist independently in a sustained and stable environment. The GHAD will manage the 162 acres of open space in all respects. It will monitor and maintain the geotechnical integrity of the Project and each of its units. The Homeowners Association (HOA) will manage and maintain the private roads and street landscape. The actions of the GHAD and HOA will be subject to review and control of the Town. Seed funding for the GHAD and HOA will be provided by the Applicant and thereafter in perpetuity through homeowner assessments. The sustainable green building design for each home must provide at least 90% of its electrical energy target load through a

combination of photovoltaic cells and construction design, and include solar water heating. The Project will not be detrimental to surrounding existing and future uses. The two residential development clusters are compatible with present surrounding residential uses. The total development is compatible with the approved and nearby Palos Colorados project. There is no other undeveloped land in the area, residential or nonresidential, which may create future potential conflicts. The project has been designed to create two distinct residential clusters, linked to desirable open space areas via trails. Key open space features of the site are either preserved in their current condition (minor ridgeline and Coyote Creek area) or enhanced (Rheem valley areas). That some of the homes and roads in the Project may be visible from some existing homes does not make the project detrimental to those uses.

(b) The streets and thoroughfares proposed are suitable and adequate to carry anticipated traffic, and increased densities will not generate traffic in such amounts as to overload the street network outside the development.

The following facts and reasons, among others in the Administrative Record, are the basis for this Finding:

The private streets within the Project have been designed to the satisfaction of the Town Engineer and the Fire Marshal for the Moraga Orinda Fire District, including road widths, travel lanes, parking, and sidewalks. A turn lane on Rheem Boulevard at the Fronteras Drive entry will provide protected turning movements and avoid effects from through traffic.

With respect to the street network outside the Project, the Town completed a study to identify cumulative impacts from new development, and adopted new development impact fees based on that nexus study. A traffic fee is included. The Applicant will pay that traffic impact fee, as it may be updated, prior to issuance of each building permit. The Town will be responsible to complete the necessary traffic improvements. The cumulative effect of the new density in the Project will not overload the street network based on the Town's study and the analysis in the certified Final EIR.

Automobile traffic (associated with a single family residential land use) is typically based on trip generation rates compiled by the Institute of Transportation Engineers (ITE). To be very conservative, the generation rates listed within the ITE studies were increased by 20% in the EIR to account for the projected units having the potential for a higher than average usage pattern. As modeled, the project will not negatively affect the traffic patterns in the vicinity and further, will not adversely affect the road system in the region. The Town's Level of Service (LOS) standards will be met as a result of construction of the project and fees will be paid to the Town in an amount that represents the project's share of cumulative impacts. The EIR identifies the cumulative impact need for a northbound left turn lane from St. Mary's Road to Rheem Boulevard. The project is anticipated to add between 3 – 5% of additional traffic to the left turn movement to Rheem Boulevard from St. Mary's Road. This impact is not considered an overload of that intersection.

Stabilizing, repairing and improving the upper valley area of Rheem Boulevard along the project frontage as part of the Project will improve the safety and traffic flow on that arterial, and avoid the future possibility that its closure would be required in the event of a landslide failure. A turn pocket for Fronteras Drive will allow for safe turning movements. Traffic circulation will be improved on Rheem Boulevard with the Project over the long term compared to the current condition of the road section and its instability. The Applicant will pay for the cost to stabilize and improve the upper portion of Rheem Boulevard along its frontage necessary to support development there, in accordance with the conditions of approval. The Town Council will provide some of the funding to stabilize the high risk lower valley frontage of Rheem Boulevard. The design and timing of said stabilization will be coordinated with the Applicant, per Condition V.16. No Town capital outlay is otherwise needed for the project.

(c) Development other than single family residential can be properly justified and is consistent with the general plan.

The following facts and reasons, among others in the Administrative Record, are the basis for this Finding:

The proposed project is a single-family residential development, and does not include development other than single-family residential.

(d) Any proposed exception from standard ordinance requirements is warranted by the design and amenities incorporated into the conceptual development plan in accord with adopted policy of the planning commission and town council.

The following facts and reasons, among others in the Administrative Record, are the basis for this Finding:

No variance to standard ordinance requirements in the Moraga Municipal Code is proposed or sought by the Applicant in order to develop the property. The Project as designed complies with the standard ordinance requirements of the Open Space District and the Planned Development District.

One correction to the Moraga Municipal Code was required. Section 8.48.040 includes a minimum lot size for the N-OS-PD zoning classification that is not in compliance with Policy LU1.6 of the Moraga 2002 General Plan. The Project's minimum lot size is consistent with the General Plan minimum for a project with outdoor recreational facilities open to the public, like public trails. In accordance with CDP Condition of Approval I.2, on June 25, 2014 the Town Council adopted Resolution 247, amending the text of MMC Section 8.48.040 to correct this inconsistency.

The general provisions for issuance of a conditional use permit in Chapter 8.16 do not include standard ordinance requirements, only procedural requirements. Development standards are addressed in the specific zoning districts.

The general provisions in the Planned Development District at Chapter 8.48 do not include specific standard ordinance requirements, only submittal and procedural requirements. Section 8.48.130 includes a general standard which allows the Planning Commission/Town Council to approve such conditions and requirements necessary to

carry out the purpose of the district, preserve open space, and assure the timely completion of public improvements. These general standards are achieved with the Project as conditioned and mitigated.

No variance or exception to the site and density standard ordinance requirements for this property is being requested. The Open Space District at Chapter 8.52 includes general standards for MOSO and Non- MOSO properties. Site and density standards are described at Municipal Code Sections 8.52.050 and 060: density, lot area, frontage, front, side and rear setbacks, building height and site coverage requirements are set based upon "site constraints."

The approved density for the Project does not require a variance or exception to the standard ordinance requirements for Open Space lands. The proposed homes and private roads, and grading for them, are located on the Non-MOSO portion of the property and clustered in two areas on less than 10 % of the site.

Municipal Code Section 8.52.060 requires that Open Space density be based upon site constraints of the particular property and the project's compliance with the Goals and Policies in the Moraga 2002 General Plan. Policy LU1.2 identifies the maximum allowed density under Policy LU1.2 for Open Space lands at one unit per 5 acres and the minimum at one unit per 20 acres. Thus, the maximum density for this 180 acre Open Space property is 36 units. Policy LU1.2 further requires that the density on a particular property, including Open Space lands, be determined based on: "review of environmental constraints, the availability of public services and acceptable levels of service, proper site planning and the provision of suitable open space and recreational areas consistent with applicable goals and policies of the General Plan." These standards are similar to the zoning standards in Municipal Code Sections 8.52.050 and 8.52.060. The Project has been designed and the density (one unit per 6.7 acres) determined based on this criteria. No density standards exception is being requested.

(e) The area surrounding the development can be planned and zoned in coordination and substantial compatibility with the proposed development.

The following facts and reasons, among others in the Administrative Record, are the basis for this Finding:

With the exception of the approved Palos Colorados project, the project site is the last undeveloped large parcel in the immediate vicinity. The open space, Coyote Creek preservation, and public trail system in the Rancho Laguna II Project is coordinated with adjoining open space provisions in the Palos Colorados project. The two projects are consistent and compatible.

(f) The development conforms with the general plan; and

The following facts and reasons, among others in the Administrative Record, are the basis for this Finding:

The General Plan Consistency Statement and General Plan Goals and Policies Matrix, incorporated as part of the Administrative Record, and the analysis in the staff reports, demonstrate that the Project, as designed and with its Mitigation Measures and Conditions of Approval, complies with the Moraga 2002 General Plan as a whole. The Matrix demonstrates the Project conforms to each applicable goal and policy in the General Plan. See also the finding and reasons set forth in Finding 5 above with respect to density.

(g) Existing or proposed utility services will be adequate for the population densities proposed.

The following facts and reasons, among others in the Administrative Record, are the basis for this Finding:

The analysis in the certified Final EIR confirm, with the adopted Mitigation Measures and Conditions of Approval, that existing or proposed utility services for the Project will be adequate for its population densities. All impacts on public services are less than significant, including utility services from PG&E, EBMUD, and CCCSD.

2. GENERAL DEVELOPMENT PLAN FINDINGS

The Planning Commission of the Town of Moraga made the following findings to approve a General Development Plan, (Planning Commission Resolution 05-2014) pursuant to Moraga Municipal Code Section 8.48.110, and, since the Precise Development Plan is consistent with the Conceptual Development plan, hereby makes the same findings for approval of the Precise Development Plan, as follows:

(a) The proposed development is appropriate to the specific location:

The project is within the Rancho Laguna II Conceptual Development Plan, which was adopted to provide for coordinated planning of the property. The project site plan is consistent with the road and lot layout of the approved Conceptual Development Plan. The project places a conservation easement on the areas of the property designated as open space in the Conceptual Development Plan. The area of the project site that is proposed for development is in the Non-MOSO Open Space – Planned Development zoning district, which permits from 1 unit per 20 acres to 1 unit per 5 acres. The project density is 1 unit per 6.63 acres and is consistent with the allowed density range, and therefore with the overall land use plan in the Rancho Laguna II Conceptual Development Plan.

(b) The proposed development is not detrimental to the health, safety, and general welfare of the Town:

The project will not include any features that will generate noise (other than necessary noise during the construction phase), or offsite light and glare that will impair public health safety or welfare, or introduce new hazards that would affect the public health, safety and welfare. The project includes remediation of significant landslide hazards, and is included in the Moraga Geologic Hazard Abatement District (GHAD), which will be funded by the owners of properties within the project area for the purposes of

avoiding, mitigating and abating geologic hazards based on an adopted Plan of Control. The project will be constructed in conformance with the Uniform Building Code, Fire Code, and other applicable requirements intended to ensure maintenance of public safety and welfare. The level of privacy, access to light and air and shade between the new single-family homes, and homes on surrounding properties will be adequately protected by the proposed setbacks and limitations on development specified in the Development Standards, as documented in the findings herein.

(c) The proposed development will not adversely affect the orderly development of property within the Town:

The project proposes to construct 27 single-family units, which is substantially below the maximum amount of development permitted by the site's MOSO and Non-MOSO Open Space – Planned Development zoning and General Plan land use designations. The project proposes to preserve 162.08 acres in permanent open space, owned and managed by a Geological Hazard Abatement District at no cost to the Town. The project also includes trails that will be open to the public and that will facilitate future connections to a trail to be developed by the Palos Colorados subdivision and allows for a future connection to the Lafayette/ Moraga Regional Trail. This is consistent with General Plan Policy FS3.3, which “requires residential developments to make appropriate provisions for park land dedication, trails, trail easements and/or in lieu fees as part of the planning and development process.”

(d) The proposed development will not adversely affect the preservation of property values and the protection of the tax base and other substantial revenue sources within the Town:

The project will include high quality homes and amenities that represent an investment in the project site and associated infrastructure, and which include amenities that will benefit both the project and the surrounding neighborhood.

(e) The proposed development is consistent with the objectives, policies, general land uses and programs specified in the general plan and applicable specific plan:

The project's consistency with the General Plan is presented in detail in Attachment H of the April 8, 2015 staff report, which is incorporated herein by reference and concludes the project is consistent with all applicable policies.

(f) The proposed development will not create a nuisance or enforcement problem within the neighborhood:

The review of environmental impacts of the project found that negative effects of the project could all be adequately mitigated, and will not adversely affect surrounding properties. The project would result in high-quality homes consistent with the surrounding neighborhood.

(g) The proposed development will not encourage marginal development within the neighborhood:

The single-family subdivision is similar in character and scale to adjacent single-family neighborhoods. The project development standards require high quality architecture and landscaping, and varied massing and rooflines, In addition, the project will include high quality homes and amenities that will benefit the project site and the surrounding neighborhood.

(h) The proposed development will not create a demand for public services within the Town beyond that of the ability of the Town to meet in the light of taxation and spending restraints imposed by law:

The developer will be required to pay impact fees to compensate for impacts on the Town's public services and development of the project will contribute to the property and sales tax base of the Town. A Geological Hazard Abatement District will manage the open space at no cost to the Town.

(i) The proposed development is consistent with the Town's approved funding priorities:

The project will contribute to the reconstruction of Rheem Boulevard, which is a high priority capital improvement.

(j) The Precise Development Plan is in substantial conformance with the General and Conceptual Development Plan:

The Precise Development Plan closely follows the development pattern approved in the CDP and GDP, including the number of homes, the location of development clusters in the west-central and southeast areas of the property, the acreage in residential development and open space, and the general location of roadways. The changes from the approved CDP and GDP in the proposed PDP are consistent with the overall design of the CDP and GDP and would improve the project as discussed in the staff report. All of the project EIR Mitigation Measures, and revised CDP and GDP Conditions of Approval would be applied to the PDP.

BE IT FURTHER RESOLVED that the Planning Commission of the Town of Moraga hereby approves the Precise Development Plan subject to the following conditions of approval:

Planning Standard Conditions

1. This approval authorizes the Precise Development Plan for development of up to 27 single-family homes on individual lots and associated improvements, including construction of trails and repairs and improvements to Rheem Boulevard.
2. Further approvals necessary to allow development of the site include, but may not be limited to a Final Map, Improvement Plans, Building Permit Plans, Landscape Plans and Grading Plans. All such plans shall be in substantial conformance with the approvals listed in Condition #1, above, as approved by the Planning Commission on April 6, 2015 and more fully described in the Resolution and its Exhibits and as modified by these conditions of approval.

3. EIR Mitigation Compliance. All required mitigation measures identified in the certified Rancho Laguna II Subdivision Project Environmental Impact Report (SCH# 2012092019) ("EIR") shall be implemented and monitored in accordance with the adopted Mitigation Monitoring and Reporting Program (MMRP).
4. Applicant Responsible for Compliance with Conditions. The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Notice of failure to comply with any condition shall be provided to the applicant by the Town, and a reasonable opportunity to gain compliance provided. Applicant's failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the permit.
5. Town staff (including authorized agents) shall have the right to enter the subject property to verify compliance with these conditions. The holder of any permit associated with this project shall make the premises available to Town staff during regular business and shall, upon request, make records and documents available to Town staff as necessary to evidence compliance with the terms and conditions of the permit.
6. Where compliance with the conditions of approval or applicant initiated changes to the Rancho Laguna II Subdivision requires additional staff work, that time shall be billed at the Town's established billing rates.
7. All new improvements constructed on the site shall be in compliance with all local State and federal laws, statutes, ordinances, regulations, rules, orders, judgments, decrees, permits, approvals and the like requirements applicable thereto and in force the time thereof ("applicable law"). "Local, state and federal" applicable law shall include without limitation, the applicable law of the Town of Moraga; Contra Costa County; Moraga Orinda Fire District, Bay Area Air Quality Management District, San Francisco Bay Area Regional Water Quality Control Board; California Department of Fish and Wildlife, US Army Corps of Engineers; State of California; and United States of America.

Planning Special Conditions of Approval

8. All project plans shall be subject to the Conditions of the Approval of Planning Commission Resolution 05-2014, attached as Exhibit 1, except as modified by COA # 10, 11, 12 and 13.
9. All plans submitted for the proposed 27-unit Rancho Laguna II Subdivision, and related building permit and other submittals required for project construction shall be substantially in accordance the approved Conceptual, General and Precise Development Plans. In accordance with MMC Section 8.48.140: Changes in Approved Development Plans, changes to the plans may be made only by following the procedure required for initial review and approval. The planning director may make minor changes pertaining to siting, architecture or landscape design which are in accord with the intent of the previously approved development plans, or refer them to the Design Review Board.

ATTACHMENT B

**DESIGN REVIEW BOARD
ACTION MEMORANDUM,
OCTOBER 27, 2014**



Town of Moraga

PLANNING DEPARTMENT
329 RHEEM BOULEVARD
MORAGA, CA 94556
(925) 888-7040

DESIGN REVIEW BOARD ACTION MEMORANDUM

On October 27, 2014, the Town of Moraga Design Review Board considered the application described below:

Design Review for Landscaping and Single-Family Homes for the Rancho Laguna II Project, a 27-Unit Single-Family Residential Subdivision (Rancho Laguna LLC, Owner and SummerHill Homes, Applicant). The Planning Commission approved a General Development Plan, Vesting Tentative Map, Hillside Development Permit and Grading Permit for the 27-lot single family subdivision on April 21, 2014.

DESIGN REVIEW BOARD ACTION:

The DESIGN REVIEW BOARD hereby approves the design of the architecture and landscape design of the Rancho Laguna II Subdivision, in accordance with the following findings and conditions of approval:

PART 1: CEQA FINDINGS:

The project is subject to CEQA, and an Environmental Impact Report was prepared pursuant to the CEQA Guidelines, and Certified by the Town Council of the Town of Moraga on January 26, 2011. An Addendum to the EIR was prepared pursuant to CEQA Guidelines Section 15164(a) to address changes to the project proposed in the General Development Plan and Vesting Tentative Map applications and the Mitigation Monitoring and Reporting Plan revised accordingly

PART 2: GENERAL PLAN CONSISTENCY FINDINGS:

The Design Review Board hereby finds the proposed project is consistent the 2002 Moraga Plan, as detailed in Section 5.B and Attachment D of the October 27, 2104 Staff Report.

PART 3: DESIGN REVIEW FINDINGS:

The Design Review Board hereby makes the following findings for Design Review approval, in accordance with Planning Commission Resolution 16-01:

The structure conforms with good taste, good design and in general contributes to the character and image of the town as a place of beauty, spaciousness, balance, taste, fitness, broad vistas, and high quality;

- The project architecture follows three basic styles, 'California Ranch', 'Craftsman' and 'Bay Classic', which are variations on early to mid-century California residential designs, and the facades are generally similar and compatible with one another, while showing sufficient variety in appearance.
- GDP requires that the residences conform to the FAR guidelines in Appendix D, and sets a maximum FAR of .341 for lots over 20,000 square feet. The residences are appropriately sized for the lots because the floor areas are all less than the maximum floor area allowed by greater than 900 square feet.
- The proposed homes will meet all of the approved standards for the Planned Development, which includes restricting Lots 1,2,3,4,5,26 and 27 to single-story home and building height to 28 feet for two-story homes and 21 feet for single-story, which will protect views of the hillsides and ridgeline.
- The landscaping will include native and drought tolerant trees, shrubs, grasses and groundcover offering texture, color and visual interest, and an appropriate transition between the streets and residences and the adjacent open space.

The structure will be protected against exterior and interior noise, vibrations and other factors which may tend to make the environment less desirable;

- The project is comprised of single family homes, roads and trails that are not anticipated to generate loud noises or vibrations that will impair public health safety or welfare.
- The project will require the formation or annexation into a Geologic Hazard Abatement District (GHAD) that will maintain, monitor and manage the open space, trails, fire protection and controls, erosion control and stormwater facilities for the site to ensure that the community remains safe and viable.
- The project will be constructed in conformance with the Uniform Building Code, Fire Code, and other applicable requirements intended to ensure maintenance of public safety and welfare.

The exterior design and appearance of the structure is not of inferior quality as to cause the nature of the neighborhood to materially depreciate in appearance and value;

- The project will include high quality homes that represent an investment in the project site and associated infrastructure, and public trails and open space access that will benefit both the project and the surrounding neighborhood.
- In total, 14 different color schemes are used throughout the development without duplicating schemes on adjacent homes. All the color schemes are based on earth tones and natural materials that are complimentary to the natural setting of the site.
- Each palette includes a limited number of materials; one type of stone veneer, stucco and some type of wood siding, panels or shingles. The color and materials are consistently used on all elevations of each home.

The structure is in harmony with proposed developments on land in the general area.

- The project is consistent with the surrounding land uses. The project is single family homes on lots of 10,000 square feet or greater, which is similar to the surrounded by single family residential neighborhoods to the south and west of the site. The majority of the project site, 152 acres, will be open space similar to open space uses to the north and east of the site.
- The project will provide a 20 foot wide landscape buffer between Rheem Boulevard and the rear of the lots on 'D' Drive, which is designed as a seasonal wetland mitigation area with a natural appearance that will enhance the rural appearance of the scenic corridor. Furthermore there are no fences, structures, light poles or parking areas proposed along the scenic corridor. The nearest structure would be the fences on the rear of the lots on 'D' Drive which is conditioned to be constructed of lattice or have an alternating pattern of lattice and solid wood to reduce its visual prominence.
- The project will have a single connection to Rheem Boulevard, and an emergency vehicle access, minimizing the points of vehicle access on the scenic corridor.

PART 4: CONDITIONS OF APPROVAL:

The following conditions of approval apply to the design of Rancho Laguna II Subdivision as approved by the DRB. All previously adopted Conditions of Approval pertaining to the Rancho Laguna Subdivision continue to remain in effect.

1. The plans submitted for the proposed 27-unit Rancho Laguna Subdivision, and related grading, building permit and other submittals required for project construction shall be substantially in accordance with the plans date-stamped by the Town of Moraga on October 23, 2014 and reviewed by the Design Review Board on October 27, 2014, and this Design Review Board Action Memorandum. Any significant changes to the plans, including substantial modifications to the grading, landscaping, site plan, or architectural design, will require re-submittal to the Design Review Board for approval
2. The applicant shall remove Fruitless Olive and Western Redbud trees from the Enhanced Streetscape palette and replace them with Toyon and Silk Tassel trees..
3. The front yard landscaping shall be as proposed. The option for enhanced landscaping shall be eliminated so as to maintain consistent character and continuity as reviewed by the Design Review Board at the time of this action.
4. The paving material as shown on Sheet L3 shall be inset pavers or stamped concrete as approved by the Planning Director.
5. The design of the trailhead kiosk on Fay Hill Road shall be as shown on revised Sheet L3.2, dated October 27, 2014 and shall be three feet in height or less. The trailhead parking lot shall use white pine landscape timber and not pressure-treated creosote railroad ties.
6. The applicant shall revise all project plans to include a four foot decomposed granite or concrete path, similar to that currently on 'D' Drive, from the trailhead to Lot 7 on the northeast side of 'E' Street, unless the intended four foot path cannot be included within

the existing defined limits of grading and the Director of Public Works and Planning Director cannot find the condition consistent with the project's conditions of approval, then the addition of the decomposed granite path may be referred to Planning Commission.

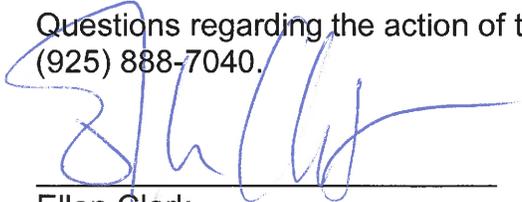
Applicant Responsible for Compliance with Conditions

7. The applicant shall ensure compliance with all of the conditions stated herein. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the approval.

Subject to all Town and Other Regulations

8. The approved construction is subject to, and shall comply with, all applicable Town Ordinances and laws and regulations of other governmental agencies, and with any and all Conditions of Approval required by the Planning Commission or Town Council in conjunction with other required project approvals including but not limited to approval of the Conceptual and General Development Plan, Vesting Tentative Map, Hillside Development Permit and the Grading Permit, and Terms of the Development Agreement.

Questions regarding the action of the Board should be directed to the Planning Department at (925) 888-7040.



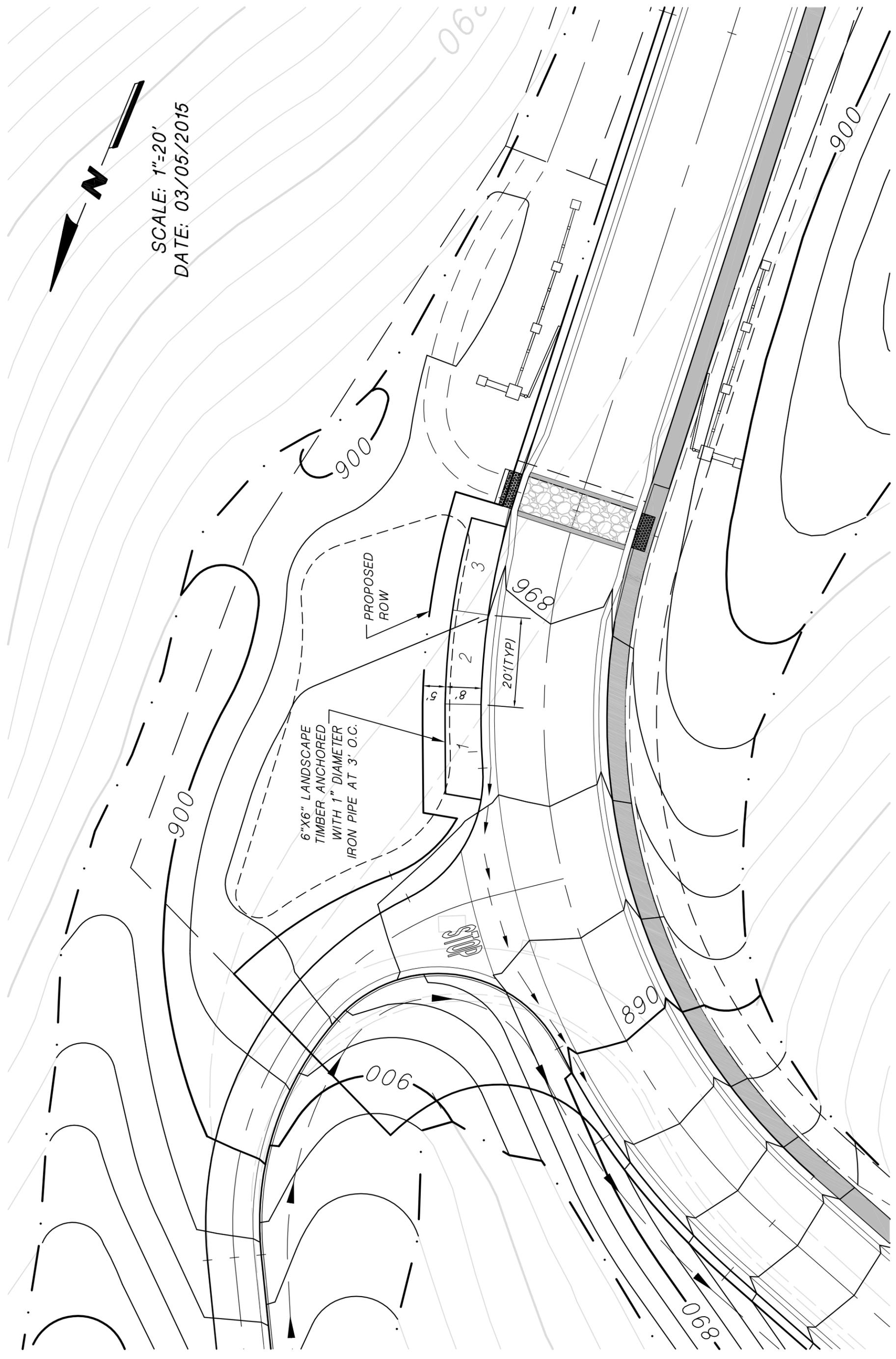
Ellen Clark
Planning Director

ATTACHMENT C

**ALTERNATIVE PARKING
EXHIBIT**



SCALE: 1"=20'
DATE: 03/05/2015



ATTACHMENT D

MITIGATION PLAN UPPER RHEEM CREEK PLANTING DETAIL

**MITIGATION
PLAN UPPER
RHEEM
CREEK PLANTING
DETAIL**

No.	Revision/Issue	Date

**RANCHO LAGUNA
RHEEM BLVD.,
MORAGA, CALIFORNIA**

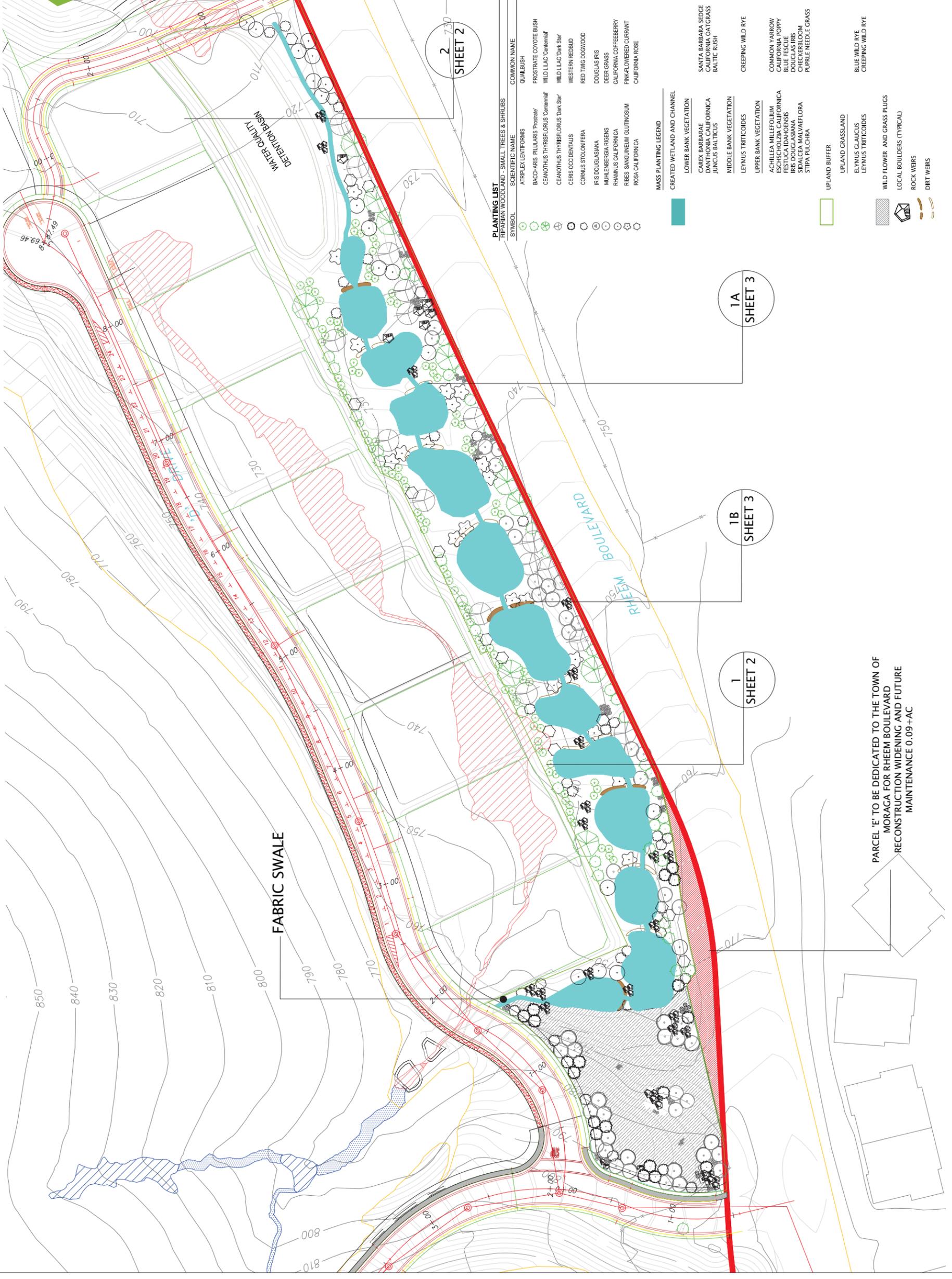


Scale 1" = 0" = 35'

Project 980 Rancho Laguna

Date 2015.03.23

Sheet **L1.0**
1 OF 3



PLANTING LIST

SYMBOL	SCIENTIFIC NAME	COMMON NAME
○	ATRIplex LENTIFORMIS	OWL BUSH
○	BACCHARIS PILULARIS 'Prostrata'	PROSTRATE COYOTE BUSH
○	CEANOthUS THYRSIFLORUS 'Centennial'	WILD LILAC 'Centennial'
○	CEANOthUS THYRSIFLORUS 'Dark Star'	WILD LILAC 'Dark Star'
○	CERIS OCCIDENTALIS	WESTERN REBBLUD
○	CORNUS STOLONIFERA	RED TWIG DOGWOOD
○	IRIS DOUGLASSIANA	DOUGLAS IRIS
○	MULBERGERA RIBENS	DEER GRASS
○	RHAMNUS CALIFORNICA	CALIFORNIA COFFEEBERRY
○	RIBES SANGUINEUM GLUTINOSUM	PINK-FLOWERED CURRANT
○	ROSA CALIFORNICA	CALIFORNIA ROSE

MASS PLANTING LEGEND

	CREATED WETLAND AND CHANNEL
	LOWER BANK VEGETATION
	MIDDLE BANK VEGETATION
	UPPER BANK VEGETATION
	UPLAND BUFFER
	WILD FLOWER AND GRASS PLUGS
	LOCAL BOULDERS (TYPICAL)
	ROCK WEIRS
	DIRT WEIRS

PARCEL 'E' TO BE DEDICATED TO THE TOWN OF MORAGA FOR RHEEM BOULEVARD RECONSTRUCTION WIDENING AND FUTURE MAINTENANCE 0.09+AC

**RIPARIAN
RESTORATION
TREATMENT
DETAILS**

No.	Revision/Issue	Date

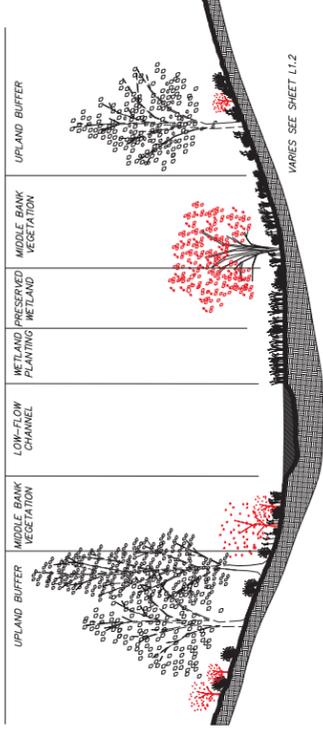
**RANCHO LAGUNA
RHEEM BLVD.
MORAGA, CALIFORNIA**

Scale **NOT TO SCALE**

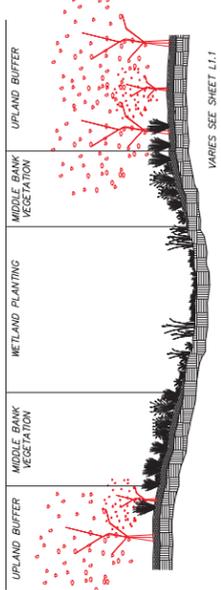
Project **980 Rancho Laguna**

Date **2015.03.23**

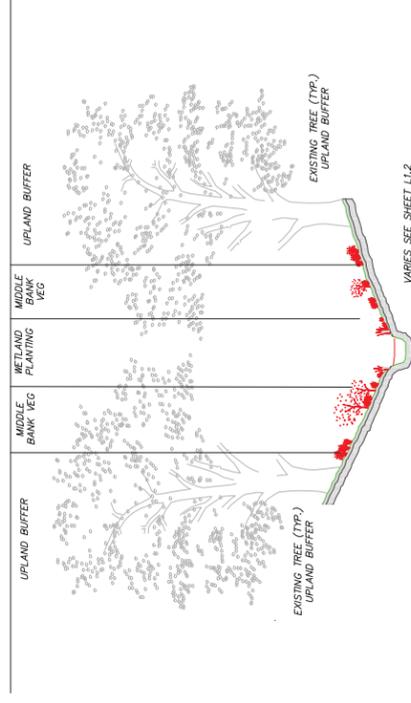
Sheet **D1.0
2 OF 3**



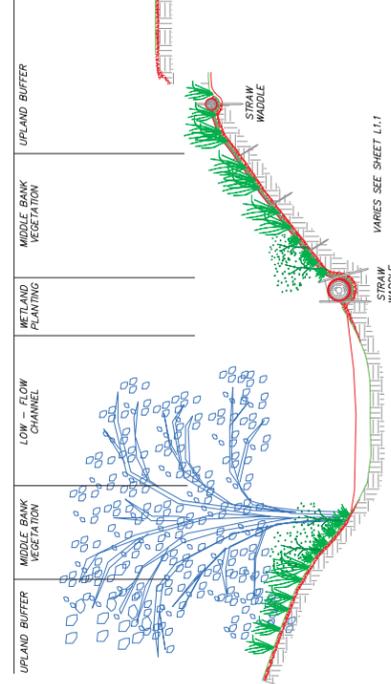
2A SECTION DETAIL
TYPICAL LOWER RHEEM



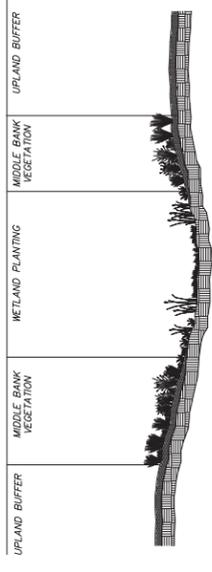
1A SECTION DETAIL
TYPICAL UPPER RHEEM



2B SECTION DETAIL
TYPICAL LOWER RHEEM



1B SECTION DETAIL
TYPICAL UPPER RHEEM



3 SECTION DETAIL
TYPICAL RETENTION WATER QUALITY POND

**WEIR AND
 CHECK DAM
 DETAILS AND
 SECTION**

No.	Revision/Issue	Date

**RANCHO LAGUNA
 RHEEM BLVD.
 MORAGA, CALIFORNIA**

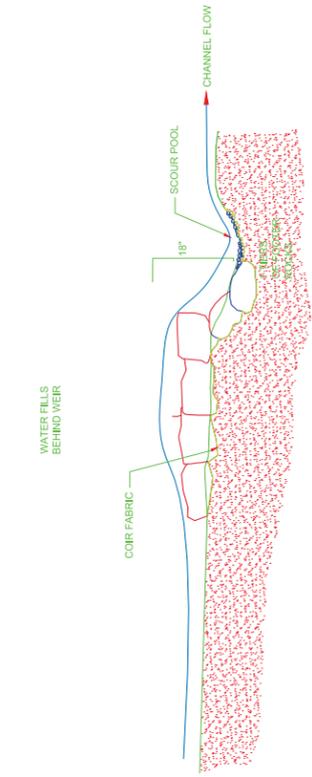
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Project **980 Rancho Laguna**

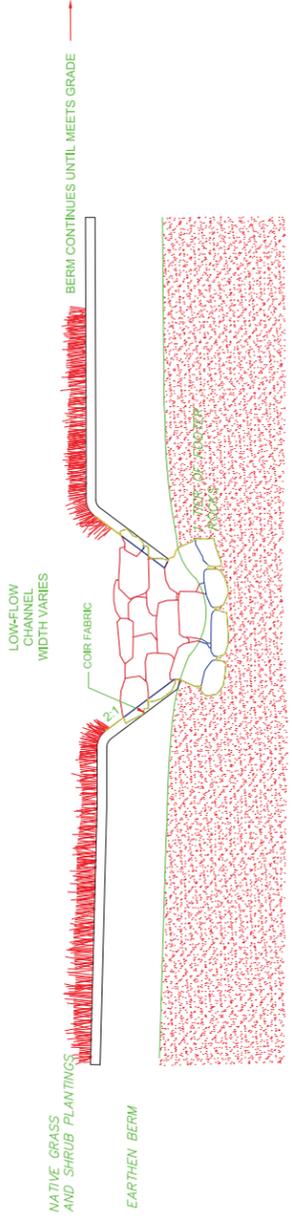
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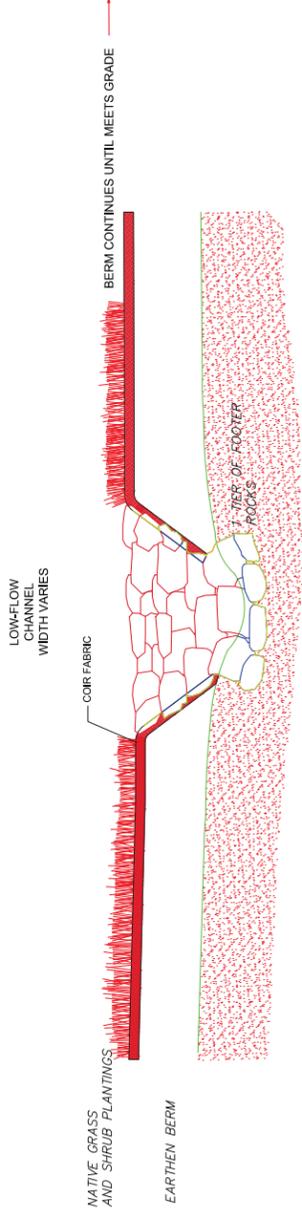
D1.2
3 OF 3



1B SECTION DETAIL
 INTER-BASIN ROCK WEIR



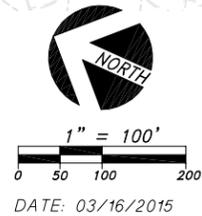
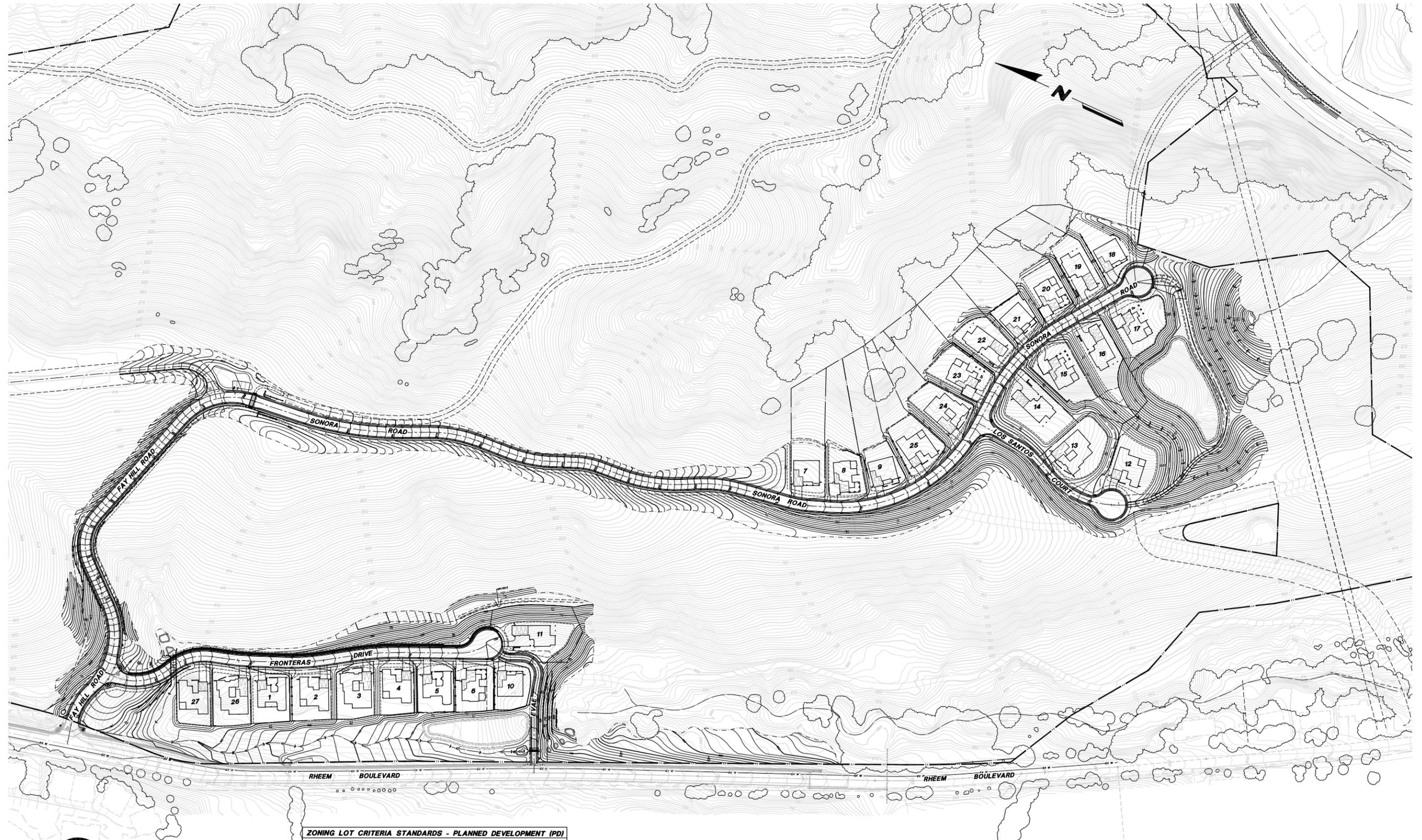
1A SECTION DETAIL
 INTER-BASIN WEIR AND EARTHEN BERM



2 SECTION DETAIL
 SOUTHERN EDGE CHECK DAM

ATTACHMENT E

PROJECT PLANS

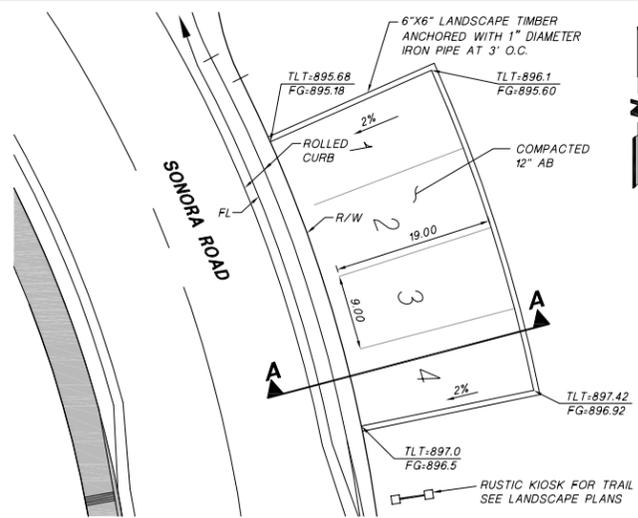


ZONING LOT CRITERIA STANDARDS - PLANNED DEVELOPMENT (PD)	
LOT DIMENSIONS	
MINIMUM LOT AREA	15,000 SF
MINIMUM LOT WIDTH	80'
MINIMUM LOT DEPTH	100'
SETBACKS AND BUILDING SEPARATIONS	
MINIMUM FRONT YARD GARAGE SETBACK *	15' OR 20'
MINIMUM FRONT YARD LIVING AREA SETBACK	15'
MINIMUM SIDE YARD SETBACK	5'
MINIMUM REAR YARD SETBACK	15'
MINIMUM AGGREGATE SITE YARD SETBACKS **	10' OR 15'
MINIMUM BUILDING SEPARATION BETWEEN PRIMARY STRUCTURES (MEASURED FROM EXTERIOR FACE OF WALL)	15'
* NOTE: 20' TO A FRONT-LOAD GARAGE; 15' TO A SIDE-LOAD GARAGE	
** NOTE: 10' FOR LOT 27	

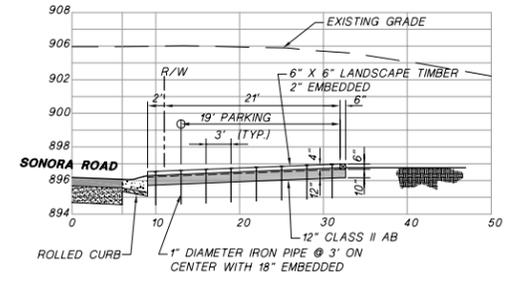
**RANCHO LAGUNA II - SUBD 9330
PRECISE DEVELOPMENT PLAN
OVERALL SITE PLAN**

PA Design Resources, Inc.
Planning ■ Engineering ■ Surveying

3021 Citrus Circle, Suite 150
Walnut Creek, California 94598-2635 TEL (925) 210-9300

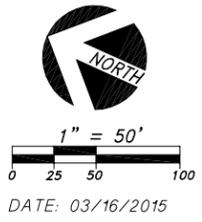


TRAIL HEAD PARKING LOT
 TLT = TOP OF LANDSCAPE TIMBER
 FG = FINISHED GRADE
 SCALE: 1" = 10'



SECTION A-A
 SCALE: HORZ. 1"=10'
 VERT. 1"=5'

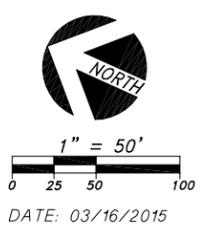
ZONING LOT CRITERIA STANDARDS - PLANNED DEVELOPMENT (PD)	
LOT DIMENSIONS	
MINIMUM LOT AREA	15,000 SF
MINIMUM LOT WIDTH	80'
MINIMUM LOT DEPTH	100'
SETBACKS AND BUILDING SEPARATIONS	
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* NOTE: 20' TO A FRONT-LOAD GARAGE; 15' TO A SIDE-LOAD GARAGE	
** NOTE: 10' FOR LOT 27	



RANCHO LAGUNA II - SUBD 9330
PRECISE DEVELOPMENT PLAN
SITE PLAN - LOWER LOTS

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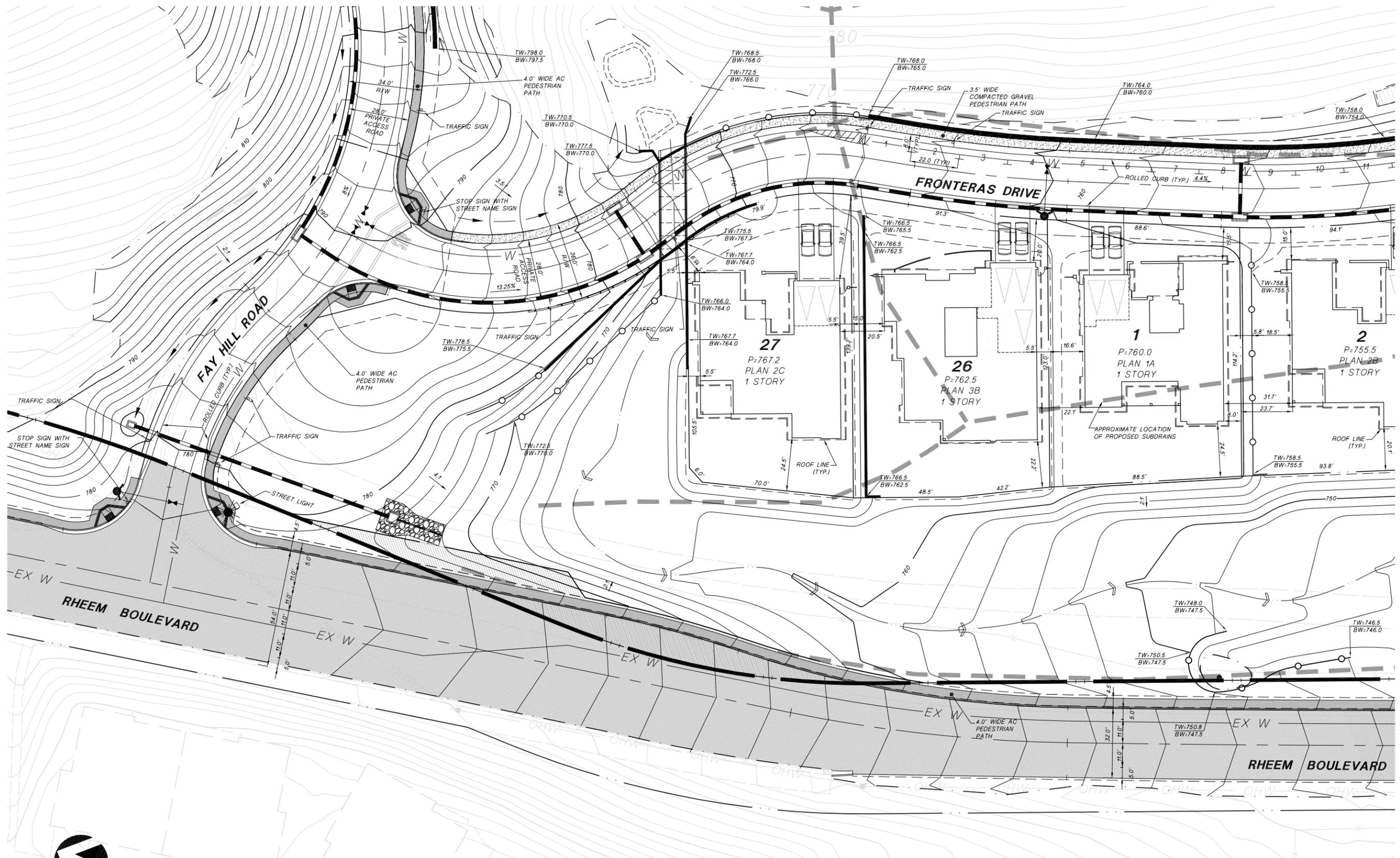


ZONING LOT CRITERIA STANDARDS - PLANNED DEVELOPMENT (PD)	
LOT DIMENSIONS	
MINIMUM LOT AREA	15,000 SF
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* NOTE: 20' TO A FRONT-LOAD GARAGE; 15' TO A SIDE-LOAD GARAGE	
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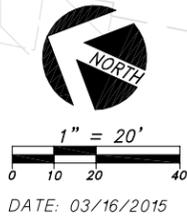
**RANCHO LAGUNA II - SUBD 9330
PRECISE DEVELOPMENT PLAN
SITE PLAN - UPPER LOTS**

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SEE SHEET 5



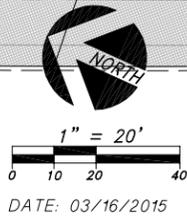
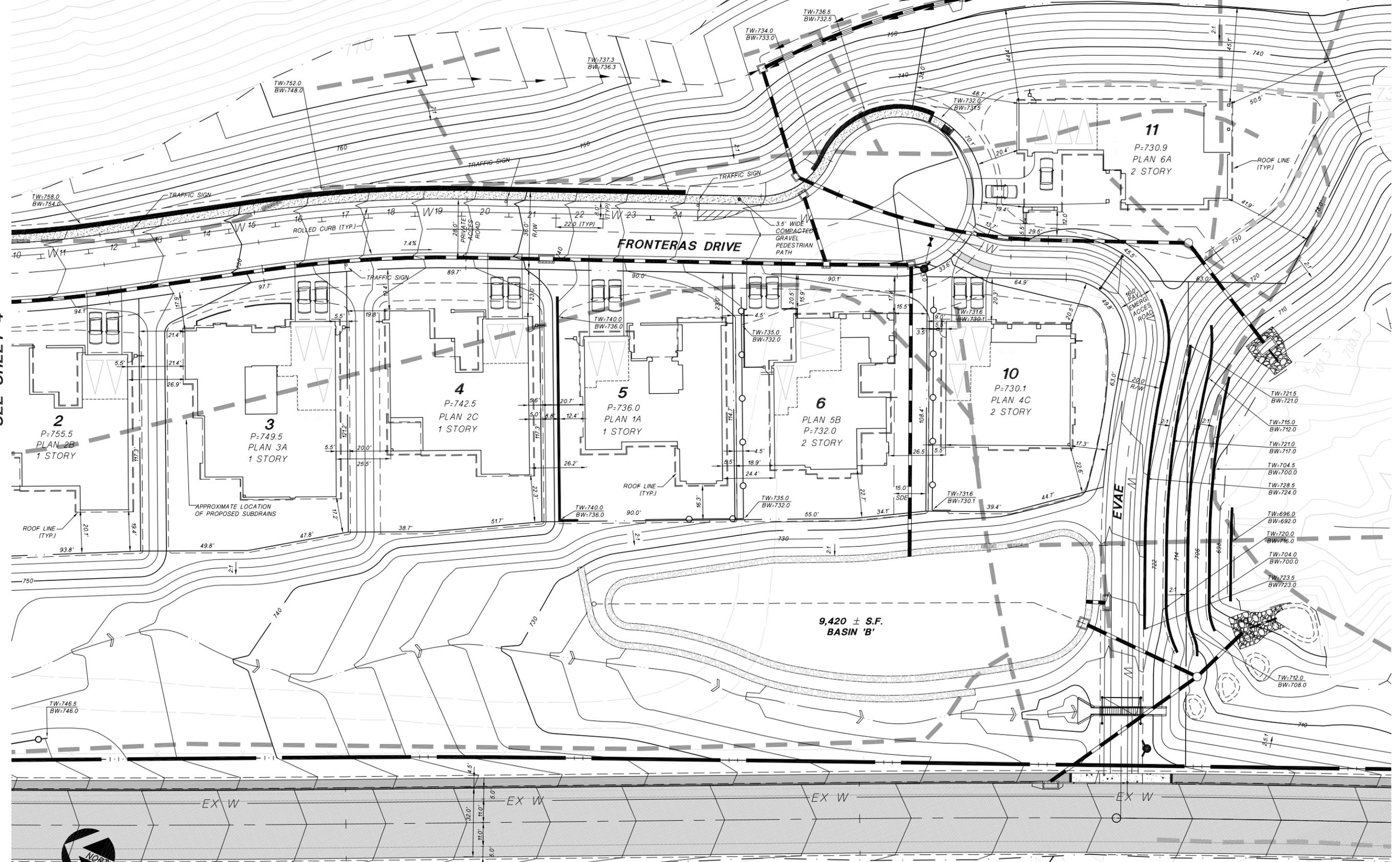
PARKING SUMMARY	
ON-STREET	53
OFF-STREET (COVERED GARAGE)	54
OFF-STREET (UNCOVERED)	54
TOTAL	161

RANCHO LAGUNA II - SUBD 9330
PRECISE DEVELOPMENT PLAN
ENLARGED SITE PLAN

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SEE SHEET 4

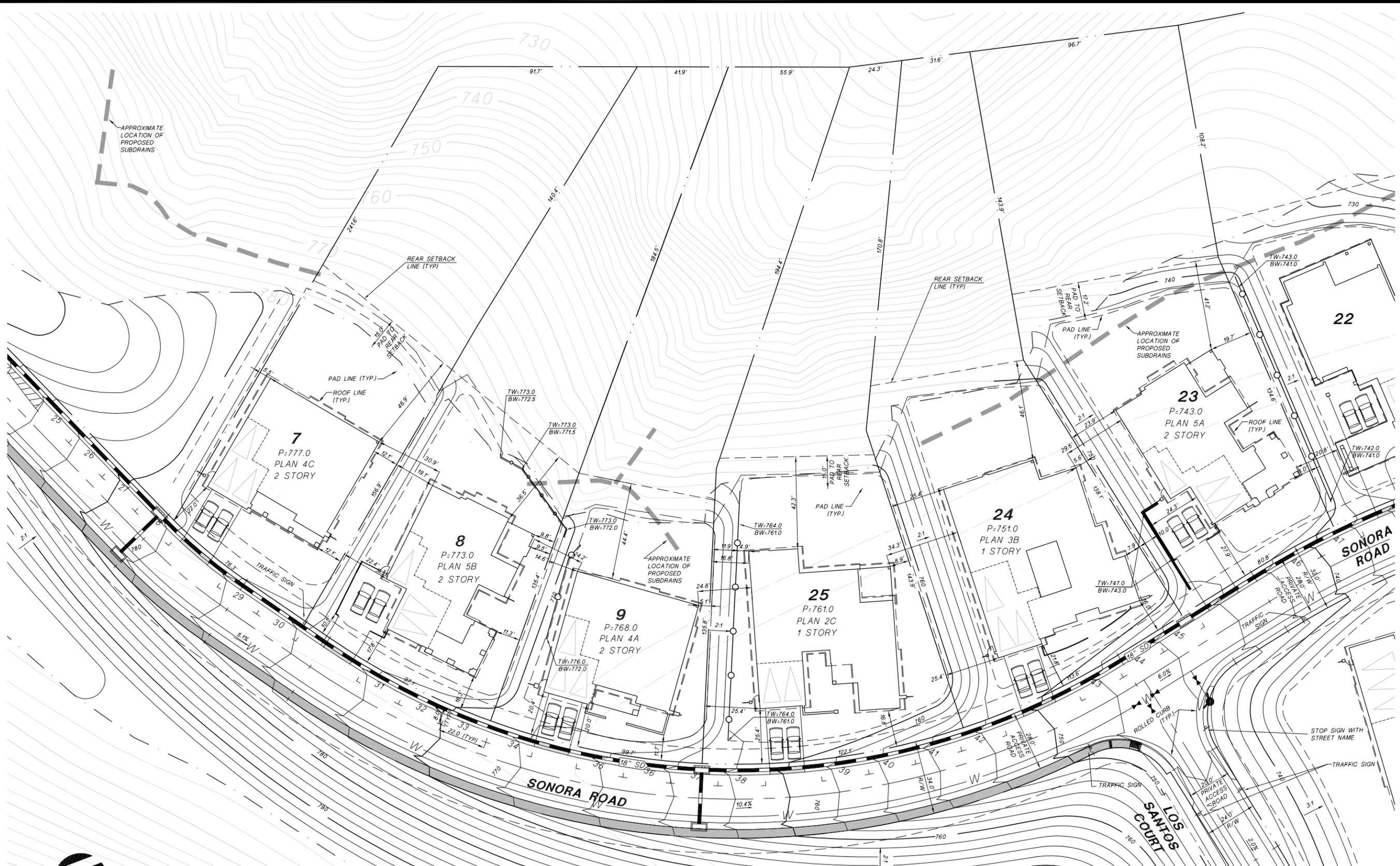


PARKING SUMMARY	
ON-STREET	53
OFF-STREET (COVERED GARAGE)	54
OFF-STREET (UNCOVERED)	54
TOTAL	161

RANCHO LAGUNA II - SUBD 9330
PRECISE DEVELOPMENT PLAN
ENLARGED SITE PLAN

PA Design Resources, Inc.
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 Walnut Creek, California 94598-2635 TEL (925) 210-9300

P:\Drawings\12009-20-Rancho Laguna\PDP-Precise Dev Pln\Precise Dev Site Plan 4-9.dwg, 3/13/2015 3:22:13 PM, station h, 1:2.18073, P/A Design Resources, Inc.



SEE SHEET 7

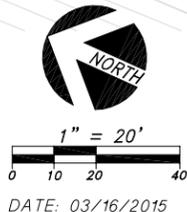
SEE SHEET 8

**RANCHO LAGUNA II - SUBD 9330
PRECISE DEVELOPMENT PLAN
ENLARGED SITE PLAN**

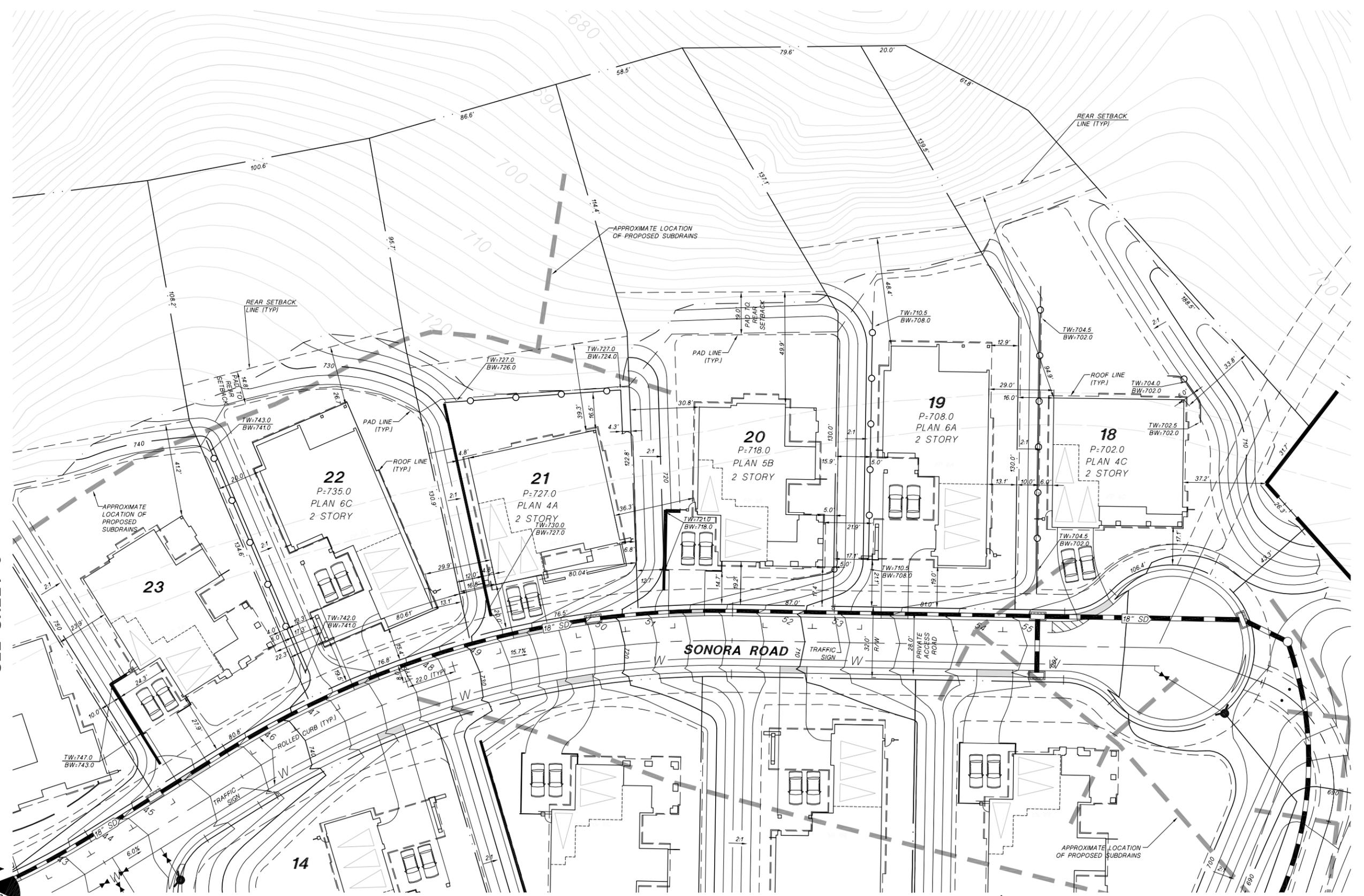
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Walnut Creek, California 94598-2635 TEL (925) 210-9300

6
OF 9



PARKING SUMMARY	
ON-STREET	53
OFF-STREET (COVERED GARAGE)	54
OFF-STREET (UNCOVERED)	54
TOTAL	161



SEE SHEET 6

SEE SHEET 8

PARKING SUMMARY	
ON-STREET	53
OFF-STREET (COVERED GARAGE)	54
OFF-STREET (UNCOVERED)	54
TOTAL	161

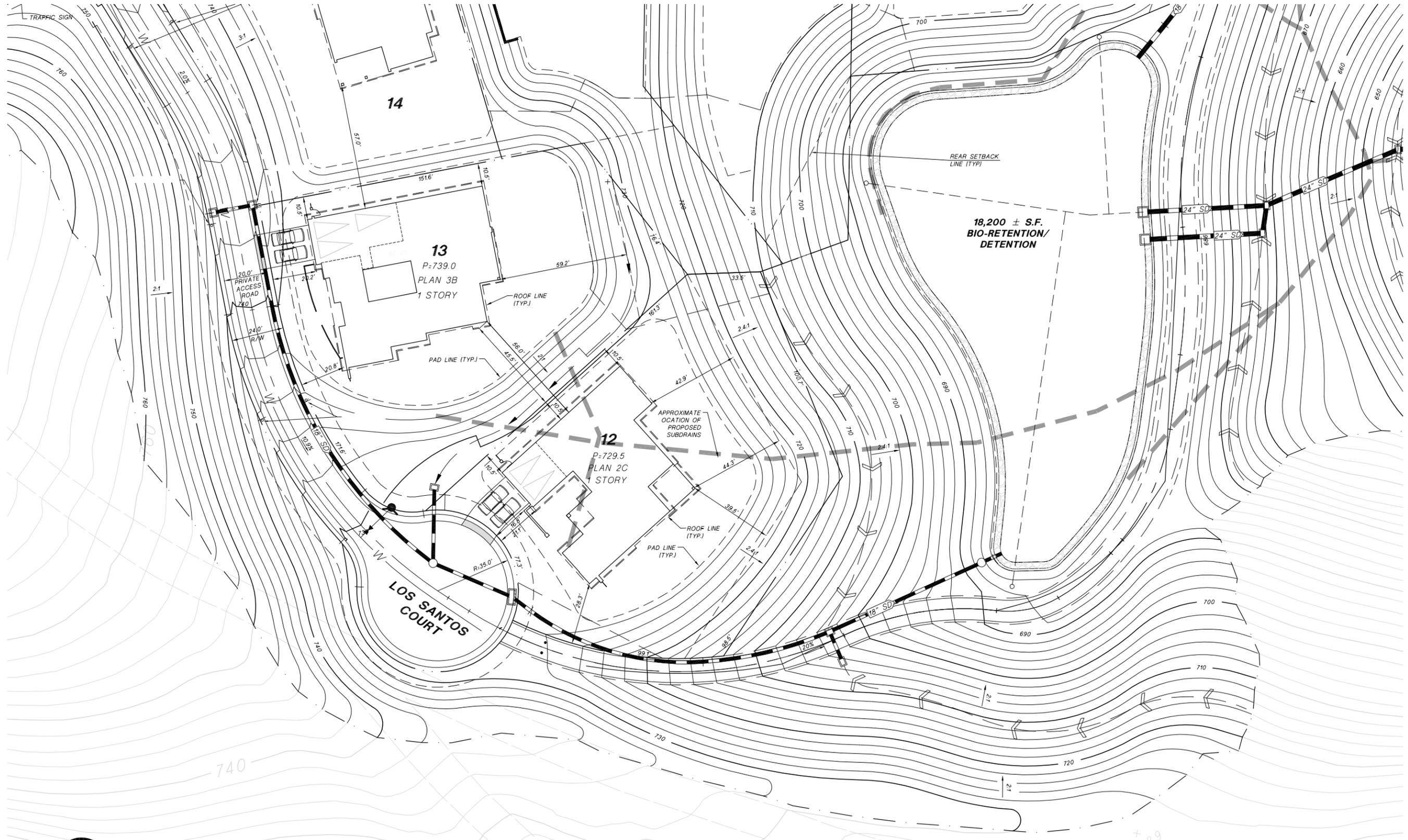
RANCHO LAGUNA II - SUBD 9330
PRECISE DEVELOPMENT PLAN
ENLARGED SITE PLAN

PA Design Resources, Inc.
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 Walnut Creek, California 94598-2635 TEL (925) 210-9300

1" = 20'
 0 10 20 40
 DATE: 03/16/2015

SEE SHEET 8



1" = 20'
 0 10 20 40
 DATE: 03/16/2015

PARKING SUMMARY	
ON-STREET	53
OFF-STREET (COVERED GARAGE)	54
OFF-STREET (UNCOVERED)	54
TOTAL	161

RANCHO LAGUNA II - SUBD 9330
PRECISE DEVELOPMENT PLAN
ENLARGED SITE PLAN

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RANCHO LAGUNA II

A SINGLE FAMILY DETACHED RESIDENTIAL COMMUNITY

GRADING PLANS

TOWN OF MORAGA, CALIFORNIA

DATE: MARCH 18, 2015

OWNER / APPLICANT

SUMMERHILL HOMES
3000 EXECUTIVE PARKWAY, SUITE 450
SAN RAMON, CA 94583

PROJECT ARCHITECT

DAHLIN GROUP
5865 OWENS DRIVE
PLEASANTON, CA 94588
(925) 251-7200

PLANNERS ENGINEERS & SURVEYORS

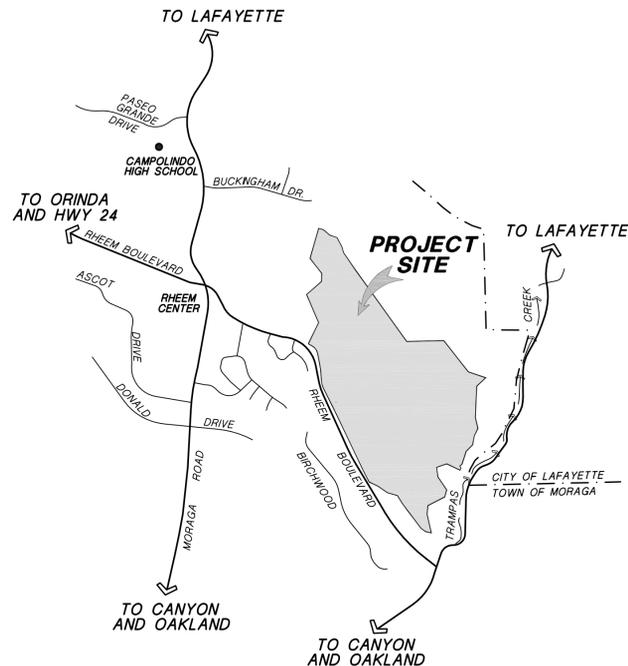
P/A DESIGN RESOURCES, INC.
3021 CITRUS CIRCLE, SUITE 150
WALNUT CREEK, CA 94598-2635
(925) 210-9300

GEOTECHNICAL ENGINEERS

ENGEQ, INC.
2010 CROW CANYON PLACE, SUITE 250
SAN RAMON, CA 94583
(925) 866-9000

LANDSCAPE ARCHITECTS

VAN DORN ABED LANDSCAPE ARCHITECTS, INC
81 14th STREET
SAN FRANCISCO, CA 94103
(925) 864-1921
(925) 933-0242 FAX



VICINITY MAP
APPROXIMATE SCALE: 1" = 1000'

SHEET INDEX:

TOTAL NO.	SHT. NO.	SHEET TITLE
1	T1	TITLE SHEET
2	W1	GENERAL & GRADING NOTES
3	DS1	TYPICAL SECTIONS AND DETAILS
4	DS2	TYPICAL SECTIONS AND DETAILS
5	DS3	TYPICAL SECTIONS AND DETAILS
6	DS4	TYPICAL SECTIONS AND DETAILS
7	S1	GRADING INDEX SHEET & LEGEND
8	GR-1	GRADING PLAN
9	GR-2	GRADING PLAN
10	GR-3	GRADING PLAN
11	GR-4	GRADING PLAN
12	GR-5	GRADING PLAN
13	GR-6	PEDESTRIAN PUBLIC TRAIL
14	GR-7	PEDESTRIAN FOOT BRIDGE DETAILS
15	GR-8	PEDESTRIAN FOOT BRIDGE SITE PLAN

THESE PLANS IDENTIFIED AS THE RANCHO LAGUNA II GRADING PLANS, TOWN OF MORAGA, CALIFORNIA, ALL SHEETS AS LISTED IN SHEET INDEX, HAVE BEEN PREPARED UNDER THE DIRECTION OF AND APPROVED BY ME.



RAZMIK AVEDIAN DATE
R.C.E. 53063 EXPIRES 6/30/15
P/A DESIGN RESOURCES, INC.

THE GEOTECHNICAL ASPECTS OF THESE PLANS HAVE BEEN PREPARED IN SUBSTANTIAL CONFORMANCE WITH THE "GEOTECHNICAL ENGINEERING CONSULTATION, RANCHO LAGUNA II PROJECT, TOWN OF MORAGA, CALIFORNIA; PROJECT NO. 2655.001.000, MAY 30, 2013 PREPARED BY ENGEQ, INC.

THEODORE P. BAYHAM, G.E. C.E.G. DATE
G.E. #2480 EXPIRES 9/30/2014
ENGEQ, INC.

REVIEWED BY:

EDRIC W. H. KWAN, TOWN ENGINEER DATE
R.C.E. 62829, EXPIRES 6/30/2016
TOWN OF MORAGA, CALIFORNIA

GRADING PLANS - SUBD 9330
RANCHO LAGUNA II
TITLE SHEET
TOWN OF MORAGA, CONTRA COSTA COUNTY, CA

P/A Design Resources, Inc.
Planning ■ Engineering ■ Surveying
3021 Citrus Circle, Suite 150
Walnut Creek, California 94598-2635
TEL (925) 210-9300

DATE:	03/18/2015
SCALE:	SCALE: --- VERT. ---
DESIGN:	
CHECKED:	
SHEET:	T1
	1 OF 15 SHEETS
PROJ. NO.	12009-20

GRADING PLANS AND GENERAL NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH THE TOWN OF MORAGA MUNICIPAL CODE AND THE CONTRA COSTA COUNTY BUILDING INSPECTION DEPARTMENT, CENTRAL CONTRA COSTA SANITARY DISTRICT, EBMUD AND CONTRA COSTA COUNTY FLOOD CONTROL DISTRICT STANDARD DRAWINGS.

2. IT SHALL BE UNDERSTOOD THAT THE TERM TOWN ENGINEER AS USED HEREIN IS THE TOWN ENGINEER FOR THE TOWN OF MORAGA OR ITS AUTHORIZED REPRESENTATIVE.

3. IT SHALL BE UNDERSTOOD THAT THE TERM ENGINEER IS THE ENGINEER OF RECORD AND AS USED HEREIN SHALL MEAN P/A DESIGN RESOURCES, INC. OR ITS AUTHORIZED REPRESENTATIVE.

4. BASIS OF ELEVATION: CONTRA COSTA COUNTY BENCH MARK, NO. 3384 (ELEV. + 498.596) SET CONCRETE FASTENER & TAG IN NORTHEAST CORNER OF 5' x 5' CENTRAL CONTRA COSTA SANITARY DISTRICT CONCRETE BOX ON WEST SIDE OF MORAGA WAY, 0.4 MILE SOUTH OF THE SOUTH INTERSECTION WITH IVY DRIVE, AND NO. 3553 (ELEV. + 502.359) STATE DISC SET IN TOP OF PLANTER CURB NORTHWEST CORNER OF UNION OIL STATION AT THE NORTHEAST CORNER OF MORAGA WAY AND CAMINO RICARDO.

BASIS OF BEARING: IS BETWEEN FOUND MONUMENTS RH-1 AND RH-11 LOCATED IN RHEEM BOULEVARD AS SHOWN ON COUNTY RIGHT OF WAY RECORD MAP 2844-61. BEARINGS AND DISTANCES SHOWN ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM, ZONE III, NAD 83. MULTIPLY DISTANCES SHOWN BY 1.0000988 TO OBTAIN GROUND DISTANCES.

5. THE GEOTECHNICAL REPORT TITLED, "GEOTECHNICAL EXPLORATION RANCHO LAGUNA, MORAGA, CALIFORNIA PREPARED BY ENGeo INCORPORATED DATED MAY 30, 2013 SHALL BE CONSIDERED AS A PART OF THESE PLANS.

6. SPECIFIC NOTES AND DETAIL DRAWINGS HEREON AND IN THE GEOTECHNICAL REPORT TAKE PRECEDENCE OVER GENERAL DRAWINGS AND PLANS UNLESS OTHERWISE DIRECTED BY THE ENGINEER. ANY DEVIATION FROM THE APPROVED PLANS DURING CONSTRUCTION WILL REQUIRE 48 HOURS PRIOR NOTICE TO THE ENGINEER AND APPROVAL FROM THE TOWN ENGINEER AND CONTRA COSTA COUNTY SR GRADING INSPECTOR. AT LEAST ONE SET OF PLANS SHALL BE ON THE SITE AT ALL TIMES FOR INSPECTION.

7. ALL GRADING, SITE PREPARATION, PLACING AND COMPACTION OF FILL TO BE DONE IN ACCORDANCE WITH TITLE 14 GRADING ORDINANCE OF THE TOWN OF MORAGA, CONTRA COSTA COUNTY GRADING ORDINANCE NO. 69-59, AND RECOMMENDATION BY THE SOILS REPORT SHOWN IN NOTE 9, AND PERFORMED UNDER THE DIRECT SUPERVISION OF THE SOILS ENGINEER. SUBSEQUENT TO COMPLETION OF WORK, THE SOILS ENGINEER SHALL SUBMIT A REPORT AND AS-BUILT PLANS TO THE COUNTY BUILDING DEPARTMENT AND TOWN OF MORAGA, STATING THAT ALL THE WORK HAS BEEN DONE TO HIS SATISFACTION. AS-BUILT PLANS WILL SHOW ALL ENCOUNTERED FAULTS, AQUIFERS, AND STRATIGRAPHIC/BEDROCK UNITS. THEY SHOULD ALSO INCLUDE ALL SUBDRAINS, CLEANOUTS AND THEIR CONNECTIONS IF ANY.

8. ALL CLEARING, SITE PREPARATION, AND EARTHWORK PERFORMED ON THE PROJECT SHALL BE CONDUCTED BY THE CONTRACTOR UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER. ALL STOCKPILE TOPSOIL TO BE REPLACED IN LANDSCAPED AREAS.

9. MATERIAL THAT IS SPONGY, SUBJECT TO DECAY, OR OTHERWISE CONSIDERED UNSUITABLE BY THE SOIL ENGINEER OR HIS REPRESENTATIVE SHALL NOT BE PERMITTED IN COMPACTED FILLS AND SHALL BE REMOVED AND REPLACED WITH FILL JUDGED SUITABLE BY THE SOILS ENGINEER.

10. ANY UNDERGROUND STRUCTURES SUCH AS WELLS, AND PIPE LINES NOT LOCATED PRIOR TO CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR TO CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR DETERMINATION OF APPROPRIATE ACTIONS SUCH AS REMOVAL OR TREATMENT IN A MANNER JUDGED SUITABLE BY THE ENGINEER, SOILS ENGINEER, AND THE TOWN ENGINEER.

11. ALL CUT AND FILL SLOPES SHALL BE ROUNDED AT THE TOPS AND TOES OF SLOPES TO MEET EXISTING GRADES AND TO GENTLY BLEND WITH SURROUNDING TOPOGRAPHY FOR A NATURAL APPEARANCE.

12. ALL REMEDIAL WORK, SHALL BE OBSERVED FULL TIME BY A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST. ALL EXCAVATION BOTTLINS OR AREAS TO RECEIVE FILL SHALL BE INSPECTED AND APPROVED BY A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST, AND THE INSTALLATION OF SUBDRAINS SHALL BE OBSERVED. ANY EXPOSED COLLUVIUM OR SLIDE DEBRIS IN EITHER CUT SLOPES OR "KEYWAYS" FOR FILL SHALL BE REMOVED OR OTHERWISE STABILIZED. A REPORT AND AS BUILT MAP, SHOWING FILL DEPTHS, COMPACTION TESTS, AND LOCATIONS OF ALL SUBDRAINS SHALL BE SUBMITTED TO THE TOWN OF MORAGA. THE GRADING COMPLETION REPORT SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE TOWN'S GEOTECHNICAL ENGINEER. THE AS BUILT PLAN SHALL ALSO SHOW ALL ENCOUNTERED FAULTS, AQUIFERS, GEOLOGIC STRUCTURE AND STRATIGRAPHIC (BEDROCK) UNITS.

13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM AN INDEPENDENT QUANTITY TAKE - OFF FOR BIDDING PURPOSES AND TO VERIFY THE ENGINEER'S ESTIMATE OF GRADING QUANTITIES.

14. THE ESTIMATED EARTHWORK QUANTITIES SHOWN HEREON ARE DETERMINED BY STANDARD ENGINEERING METHODS UTILIZING THE BEST INFORMATION AVAILABLE. HOWEVER, SOILS ENGINEERING IS AN IMPRECISE SCIENCE. THEREFORE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY UNANTICIPATED CONDITIONS WHICH MAY BECOME APPARENT DURING THE GRADING OPERATION. THE CONTRACTOR SHALL KEEP THE GEOTECHNICAL AND CIVIL ENGINEERS INFORMED AS TO THE PROGRESS OF THE GRADING AND NOTIFY THEM AT THE EARLIEST POSSIBLE OPPORTUNITY OF ANY POTENTIAL SHORT FALL OR OVERAGE SO THAT THE GRADING PLANS MAY BE ADJUSTED, IF REQUIRED.

GRADING QUANTITIES		
	CUT	FILL
CIVIL	147,413+ CY	165,596+ CY
REMEDIAL	197,011+ CY	

15. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND TOWN OF MORAGA LAWS AND ORDINANCES, AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, O.S.H.A., AND INDUSTRIAL ACCIDENT COMMISSION RELATING TO THE SAFETY AND CHARACTER AT WORK, EQUIPMENT, AND LABOR PERSONNEL.

16. A PRECONSTRUCTION MEETING AT THE SITE IS REQUIRED 48 HOURS PRIOR TO THE START OF CONSTRUCTION WITH THE FOLLOWING PEOPLE PRESENT: OWNERS, CONTRACTOR, ENGINEER, GEOTECHNICAL ENGINEER, TOWN ENGINEER, TOWN GEOTECHNICAL CONSULTANT, COUNTY INSPECTOR, OR THEIR REPRESENTATIVES.

17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED INSPECTIONS AND SHALL MAKE PROPER (48 HOURS PRIOR) NOTIFICATION TO THE TOWN ENGINEER, GEOTECHNICAL ENGINEER OR OTHER REQUIRED INDIVIDUALS OR PUBLIC AGENCIES.

18. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE THE GROUND SURFACE TO RECEIVE THE FILLS TO THE SATISFACTION OF THE SOILS ENGINEER AND TO THE TOWN ENGINEER. WATER, AND COMPACT THE FILL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL ALSO REMOVE AND DISPOSE OF ALL MATERIAL CONSIDERED UNSATISFACTORY BY THE GEOTECHNICAL ENGINEER.

19. THE ROOT SYSTEM OF ALL THE TREES TO BE REMOVED SHALL BE REMOVED AND HAULED OFF THE SITE. THE ROOT BALL SYSTEM NEEDS TO BE CLEANED OUT AND INSPECTED BY THE GEOTECHNICAL ENGINEER PRIOR TO BACKFILLING.

20. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS AGENTS, CONTRA COSTA COUNTY AND THE TOWN OF MORAGA, FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGES ARISING OR ALLEGED TO ARISE FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS, AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS.

21. THE GRADING CONTRACTOR AND APPLICANT FOR THE GRADING PERMIT SHALL BE RESPONSIBLE FOR PREVENTING SPILLS OF SOILS, ROCK OR OTHER DEBRIS IS ON TOWN STREETS. IF ANY SPILLS OCCUR, THEN THE GRADING CONTRACTOR WILL BE HELD RESPONSIBLE FOR IMMEDIATE CLEANUP OF THE SPILL AND REPAIR TO THE SATISFACTION OF THE TOWN PUBLIC WORKS DIRECTOR OF ANY DAMAGE THAT MAY HAVE BEEN DONE TO THE STREET.

22. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPELINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS AND IN SOME CASES BY FIELD SURVEY. APPROVAL OF THESE PLANS BY THE DESIGN ENGINEER OR REVIEW BY THE TOWN ENGINEER DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OF COMPLETENESS OF THE LOCATION OR EXISTENCE OR NONEXISTENCE OF ANY UNDERGROUND UTILITIES OR STRUCTURES WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR IS REQUIRED TO TAKE ALL DUE PRECAUTIONARY MEANS TO PROTECT THE UTILITIES AND STRUCTURES NOT OF RECORD NOT SHOWN ON THESE PLANS, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

23. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL NECESSARY UTILITY RELOCATIONS AND CONSTRUCTION WITH THE APPROPRIATE UTILITY AGENCIES AND TO OBTAIN REQUIRED PERMITS.

24. THE CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 48 HOURS PRIOR TO THE NEED FOR SURVEY STAKING, ANY EARLIER NOTIFICATION THAT MAY BE POSSIBLE IN ANTICIPATION OF STAKING NEEDS WILL AID THE ENGINEER IN EFFECTIVELY SCHEDULING HIS SURVEY CREWS.

25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL CONSTRUCTION STAKING SET BY THE ENGINEER'S SURVEYORS. ANY RESTAKING THAT IS REQUIRED WILL BE BILLED AS AN EXTRA TO THE STAKING CONTRACT.

26. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT IN PLACE (BY ANY MEANS NECESSARY) ALL EXISTING UTILITIES AND IMPROVEMENTS UNLESS OTHERWISE SPECIFIED ON THESE PLANS OR AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION, AT HIS EXPENSE, OF EXISTING FENCES, STRUCTURES, CONDUITS, AND EXISTING IMPROVEMENTS WHICH ARE DAMAGED AND/OR DESTROYED BY HIS PERFORMANCE OF THE WORK SHOWN HEREIN. SAID REPAIRS SHALL BE PERFORMED AS DIRECTED BY THE TOWN ENGINEER.

27. THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP ALL PUBLIC RIGHTS - OF - WAY AND OFF SITE AREAS CLEAN FROM ALL DIRT, MUD, DUST AND DEBRIS AT ALL TIMES. ANY OFF SITE DAMAGE TO CITY STREETS, WHICH IS FOUND THE TOWN ENGINEER TO BE A RESULT OF THE GRADING OPERATIONS, SHALL BE CORRECTED BY THE APPLICANT CONTRACTOR.

28. DURING GRADING OPERATION S IN DRY WEATHER, THE CONTRACTOR SHALL WET DOWN GRADING AREAS AND ANY HAUL ROUTES USED BY TRUCKS AND OTHER HEAVY EQUIPMENT AT LEAST TWICE DAILY TO REDUCE AIRBORNE DUST. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY DUST FROM HIS OWN ACTIVITIES OR HIS SUBCONTRACTOR'S ACTIVITIES IN PERFORMING THE WORK UNDER THIS CONTRACT, AND SHALL BE RESPONSIBLE FOR ANY CITATIONS, FINES, OR DESIGNS RESULTING FROM DUST NUISANCE.

IN ADDITION, THE NOISE LEVEL AT THE CONTRACTOR'S OPERATION SHALL BE KEPT TO A MINIMUM AS PER TOWN OF MORAGA SPECIFICATIONS.

29. SANITARY FACILITIES SHALL BE MAINTAINED - ON THE SITE THROUGHOUT THE PERIOD OF CONSTRUCTION.

30. THE CONTRACTOR SHALL MAINTAIN EXITING INGRESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO THE WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.

31. STREETS IN THE VICINITY OF THE SITE SHALL BE MECHANICALLY AND/OR MANUALLY SWEEP CLEAN OF SOIL ON A FREQUENT BASIS TO REDUCE THE ACCUMULATION OF DIRT DURING GRADING.

32. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE NPDES GUIDELINES AND TO EMPLOY BEST MANAGEMENT PRACTICES FOR SUCH AS OUTLINED ON THE PLANS AND IN THE NPDES PERMIT, GRANTED BY THE REGIONAL WATER QUALITY CONTROL BOARD FOR THIS PROJECT.

SPECIAL INSTRUCTIONS

33. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED, OR IN THE EVENT OF ANY DISCREPANCY BETWEEN ANY DRAWINGS AND THE FIGURES WRITTEN THEREON, ANY DIFFERENCES IN LOCATION OF EXISTING UTILITIES FROM THAT SHOWN, OR ANY CONFLICTS WITH THE DESIGN, THE CONTRACTOR SHALL CONTACT P/A DESIGN RESOURCES, INC., AT 925-210-9300 FOR SUCH FURTHER EXPLANATION AS MAY BE NECESSARY BEFORE CONTINUING WITH WORK IN THAT AREA. ANY REVISIONS TO APPROVED PLANS WILL REQUIRE TOWN ENGINEER'S APPROVAL.

34. HAULING OF ANY EARTH, SAND, GRAVEL, DEBRIS OR ANY OTHER SUBSTANCE EXCAVATED FROM THIS SITE IS RESTRICTED OVER ANY PUBLIC STREET, ALLEY OR ANY OTHER PUBLIC PLACE WITHOUT PRIOR APPROVAL OF THE TOWN OF MORAGA AND THE APPROVAL OF ACCEPTABLE HAUL ROUTE.

TREE CARE INSTRUCTIONS

35. PRIOR TO BEGINNING WORK, ALL CONTRACTORS WORKING IN THE VICINITY OF TREES TO BE PRESERVED ARE REQUIRED TO MEET WITH CONSULTING ARBORIST AT THE SITE TO REVIEW ALL WORK PROCEDURES, ACCESS ROUTES, STORAGE AREAS AND TREE PROTECTION MEASURES.

36. PRIOR TO GRADING, EXCAVATION OR TRENCHING, TREES MAY REQUIRE ROOT PRUNING OUTSIDE THE TREE PROTECTION ZONE BY CUTTING ALL ROOTS CLEANLY TO THE DEPTH OF THE EXCAVATION. ROOTS SHALL BE CUT BY MANUALLY DIGGING A TRENCH AND CUTTING EXPOSED ROOTS WITH A SAW, VIBRATING KNIFE, ROCK SAW, OR OTHER APPROVED ROOT PRUNING EQUIPMENT. PRUNING CUTS SHALL BE CLEAN AND SQUARE AT UNDAMAGED TISSUE WITH A SAW. THE CONSULTING ARBORIST WILL IDENTIFY WHERE ROOT PRUNING IS REQUIRED AND MONITOR ALL ROOT PRUNING.

37. IF INJURY SHOULD OCCUR TO ANY TREE DURING CONSTRUCTION, IT SHOULD BE EVALUATED AS SOON AS POSSIBLE BY THE CONSULTING ARBORIST SO THAT APPROPRIATE TREATMENTS CAN BE APPLIED.

38. FENCES HAVE BEEN ERECTED TO PROTECT TREES TO BE PRESERVED. FENCES DEFINE A SPECIFIC TREE PROTECTION ZONE FOR EACH TREE OR GROUP OF TREES. FENCES ARE TO REMAIN UNTIL ALL SITE WORK HAS BEEN COMPLETED. FENCES MAY NOT BE RELOCATED OR REMOVED WITHOUT PERMISSION OF THE CONSULTING ARBORIST.

39. CONSTRUCTION TRAILERS, TRAFFIC AND STORAGE AREAS MUST REMAIN OUTSIDE FENCED AREAS OF THE TREE PROTECTION ZONE AT ALL TIMES.

40. SUPPLEMENTAL IRRIGATION WILL BE REQUIRED FOR ALL TREES INCURRING ROOT LOSS, INCLUDING SPECIFIC REQUIREMENTS FOR COAST REDWOOD TREES, ALL OF WHICH SHALL BE SPECIFIED BY THE CONSULTING ARBORIST.

41. NO EXCESS SOIL, CHEMICALS, DEBRIS, EQUIPMENT OR OTHER MATERIALS SHALL BE DUMPED OR STORED WITHIN THE TREE PROTECTION ZONE.

42. ANY ADDITIONAL TREE PRUNING NEEDED FOR CLEARANCE DURING CONSTRUCTION MUST BE PERFORMED BY A CONSULTING ARBORIST AND NOT BY CONSTRUCTION PERSONNEL.

TOWN OF MORAGA GRADING NOTES

44. THIS PERMIT IS VOID IF WORK IS NOT BEGUN WITHIN ONE YEAR OF ISSUANCE AND NOT COMPLETED WITHIN ONE YEAR (UP TO 1 YEAR EXTENSION MAY BE REQUESTED).

45. AT LEAST 48 HOURS NOTICE IS REQUIRED TO THE TOWN OF MORAGA PUBLIC WORKS/ENGINEERING DEPARTMENT. CALL (925) 888-7026 TO ARRANGE FOR INSPECTION.

46. CALL UNDERGROUND SERVICE ALERT (USA) AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION. (800) 227-2600 OR WWW.USANORTH.ORG

47. ALL GRADING AND NOISE THEREFORE INCLUDING, BUT NOT LIMITED TO, WARMING OF EQUIPMENT MOTORS IN RESIDENTIAL ZONES OR WITHIN FIVE HUNDRED (500) FEET OF ANY RESIDENTIAL OCCUPANCY SHALL BE LIMITED BETWEEN THE REGULAR HOURS OF 8:00 A.M. TO 5:00 P.M., MONDAY THROUGH FRIDAY. THE OWNER OR DEVELOPER MUST SUBMIT A WRITTEN REQUEST FOR APPROVAL BY THE TOWN ENGINEER AT LEAST TWO (2) WORKING DAYS IN ADVANCE TO WORK DURING ANY OTHER HOURS, WEEKENDS OR HOLIDAYS.

48. WHENEVER ANY PORTION OF THE WORK REQUIRES ENTRY ONTO ADJACENT PROPERTY FOR ANY REASON, THE PERMIT APPLICANT SHALL OBTAIN A RIGHT-OF-ENTRY FROM THE ADJACENT PROPERTY OWNER OR HIS AUTHORIZED REPRESENTATIVE IN A FORM ACCEPTABLE TO THE TOWN AND SHALL FILE A COPY OF THE FULL EXECUTED RIGHT-OF-ENTRY WITH THE TOWN PRIOR TO ISSUANCE OF THE GRADING PERMIT AND/OR APPROVAL OF THE GRADING PLANS.

49. THE PERMITEE AND/OR THE PERMITEE'S ENGINEERS, CONTRACTORS OR AGENTS SHALL BE RESPONSIBLE FOR THE SATISFACTORY AND SAFE CONDUCT OF ALL WORK.

50. THE PERMIT APPLICANT AND GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ADJACENT PROPERTIES DURING GRADING OPERATIONS. PRIOR TO COMMENCING ANY GRADING OF THE SITE, THE EXTERIOR BOUNDARIES SHALL BE MARKED AS REQUIRED BY THE TOWN ENGINEER. BOUNDARY MARKERS SHALL BE MAINTAINED THROUGHOUT THE GRADING OPERATION. TEMPORARY BARRIERS AND/OR PROTECTIVE FENCING SHALL BE USED WHEN NECESSARY TO PROTECT ADJACENT PROPERTIES.

51. THE PERMITEE AND/OR THE PERMITEE'S CONTRACTORS AND AGENTS SHALL INDEMNIFY AND SAVE HARMLESS THE TOWN AND ALL OFFICERS AND EMPLOYEES THEREOF CONNECTED WITH THE WORK, FORM ALL CLAIMS, SUITES OR ACTION OF EVERY NAME, KIND AND DESCRIPTION, BROUGHT FOR OR ON ACCOUNT OF INJURIES TO OR DEATH OF ANY PERSON OR DAMAGE TO PROPERTY RESULTING FROM THE ISSUANCE OF THE GRADING PERMIT, CONSTRUCTION OF THE WORK OR BY OR IN CONSEQUENCE OF ANY NEGLIGENCE IN GUARDING THE WORK, USE OF IMPROPER MATERIALS IN CONSTRUCTION OF THE WORK, OR BY OR ON ACCOUNT OF ANY ACT OR OMISSION BY THE PERMITEE OR PERMITEE'S AGENTS.

52. CONTRACTOR SHALL SUBMIT A CERTIFICATE OF LIABILITY INSURANCE TO THE TOWN PRIOR TO ANY CONSTRUCTION ACTIVITIES. INSURANCE SHALL NAME TOWN OF MORAGA AS ADDITIONAL INSURED, AND THE ADDITIONAL INSURED ENDORSEMENT MUST BE ATTACHED TO DEEM INSURANCE REQUIREMENTS COMPLETE.

53. PROJECT MUST COMPLY WITH MUNICIPAL/REGIONAL PERMIT C.3 REQUIREMENTS AND APPLICABLE TOWN STANDARDS. (REFERENCE CONTRA COSTA CLEAN WATER PROGRAM STORMWATER C.3 GUIDEBOOK)

54. GRADING DURING THE WET SEASON (OCTOBER 15 THROUGH APRIL 15) IS PROHIBITED UNLESS PERMITEE:

A. HAS AN APPROVED EROSION CONTROL PLAN APPROVED BY THE TOWN.
 B. PROVIDES THE TOWN A LETTER FROM THE PROJECT GEOTECHNICAL ENGINEER OR CERTIFIED ENGINEERING GEOLOGIST STATING THAT SUCH GRADING IS ACCEPTABLE AND WILL NOT CREATE A HAZARD TO LIFE, LIMB, PROPERTY AND THE PUBLIC WELFARE.

C. ENSURES WET WEATHER BEST MANAGEMENT PRACTICES (BMP'S) FOR GRADING OPERATIONS IN CONFORMANCE WITH APPROVED PLANS AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) APPROVED BY THE TOWN IS IN PLACE.

D. SECURITY/PERFORMANCE BOND ACCEPTABLE TO THE TOWN HAS BEEN PROVIDED.

55. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS SPECIFIED BY THE APPROVED INTERIM AND FINAL SEDIMENT AND EROSION CONTROL PLANS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSISTENT WITH THE MANUAL OF SEDIMENT AND EROSION CONTROL PRACTICES AND BEST MANAGEMENT PRACTICES.

56. THE APPLICANT MAY BE REQUIRED TO PROVIDE SECURITY FOR THE PERFORMANCE OF THE WORK DESCRIBED AND DELINEATED ON THE APPROVED GRADING PLAN AND INTERIM AND FINAL EROSION AND SEDIMENT CONTROL PLANS IN AN AMOUNT NOT LESS THAN TEN (10) PERCENT OF THE TOTAL ESTIMATED COST OF THE WORK. THE ESTIMATED COST OF WORK SHALL BE APPROVED BY THE TOWN ENGINEER. THE TYPE OF SECURITY SHALL BE EITHER:

A. CASH DEPOSIT WITH THE TOWN, OR
 B. A CERTIFICATE OF DEPOSIT APPROVED BY THE TOWN ATTORNEY FROM A FINANCIAL INSTITUTION SUBJECT TO REGULATIONS BY THE STATE OR FEDERAL GOVERNMENT WHERE SAID FUNDS ARE ON DEPOSIT AND GUARANTEED FOR PAYMENT AND PAYABLE IMMEDIATELY, PARTIALLY OR IN FULL TO THE TOWN UPON DEMAND.

57. UPON THE FINAL COMPLETION OF THE WORK, THE FOLLOWING REPORTS AND DRAWINGS AND SUPPLEMENTS THERETO SHALL BE SUBMITTED TO THE TOWN ENGINEER.

A. A GEOTECHNICAL AND GEOLOGIC GRADING REPORT PREPARED BY THE GEOTECHNICAL ENGINEER AND/OR ENGINEERING GEOLOGIST INCLUDING LOCATION AND ELEVATIONS OF FIELD DENSITY TEST, SUMMARIES OF FIELD AND LABORATORY TESTS AND OTHER SUBSTANTIATING DATA AND COMMENTS ON ANY CHANGES MADE DURING GRADING AND THEIR EFFECT ON THE RECOMMENDATIONS MADE IN THE SOIL ENGINEERING INVESTIGATION REPORT. THE REPORT SHALL INCLUDE A FINAL DESCRIPTION OF THE GEOLOGY OF THE SITE, INCLUDING ANY NEW INFORMATION DISCLOSED DURING THE GRADING AND THE AFFECT OF SAME ON RECOMMENDATIONS INCORPORATED IN THE APPROVED GRADING PLAN. A CERTIFICATION SHALL BE PROVIDED AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AS AFFECTED BY SOIL AND GEOLOGIC FACTORS.

B. AN AS-GRADED GRADING PLAN PREPARED BY THE CIVIL ENGINEER, INCLUDING ORIGINAL GROUND SURFACE ELEVATIONS, AS GRADED GROUND SURFACE ELEVATIONS, LOT DRAINAGE PATTERNS AND LOCATIONS AND ELEVATION OF ALL SURFACE AND SUBSURFACE DRAINAGE FACILITIES.

C. AN AS-BUILT EROSION AND SEDIMENT CONTROL PLAN PREPARED BY THE CIVIL ENGINEER.

EROSION CONTROL NOTES

1. TEMPORARY EROSION CONTROL DEVICES SHOWN ON GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.

2. EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE AS THE END OF EACH WORKING DAY. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON AND MAINTAINED DURING THE RAINY SEASON.

3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG) "MANUAL OF STANDARD FOR EROSION AND SEDIMENT CONTROL MEASURES" UNLESS OTHERWISE STATED WITHIN THESE GENERAL NOTES. CONTROL MEASURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE GRADING DEPARTMENT.

4. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.

5. STAND-BY CREWS SHALL BE ALERTED BY THE PERMITEE TO CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.

6. AFTER OCTOBER 1, ALL EROSION CONTROL MEASURES WILL BE INSPECTED BEFORE AND AFTER EACH STORM.

7. ALL GRADED AREAS INCLUDING CUT AND FILL SLOPES GREATER THAN 3' IN HEIGHT SHALL BE HYDRO SEEDDED PER ABAG IN ADDITION TO HYDROSEEDING, APPLICATION OF STRAW WITH A TACKIFER OR MULCH MAY BE REQUIRED.

8. TO MINIMIZE EROSION OF GRADED BANKS, ALL GRADED BANKS GREATER THAN 2% AND HIGHER THAN 3 FEET SHALL BE HYDROSEEDED, LANDSCAPED OR SEALED. IN ADDITION TO HYDROSEEDING THE APPLICATION OF A STRAW TACKIFER OR MULCH MAY BE REQUIRED BY PUBLIC WORKS.

9. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVERBANK FLOW USING 4" EARTH BERMS OR SILT FENCES.

10. ALL GRADED AREAS SHALL BE HYDROSEEDDED WITH SEED MIX AS INDICATED ON PLANS. ALL SEED SHALL BE PURCHASED BY THE CONTRACTOR AND PROVIDED TO THE SITE IN SEALED CONTAINERS WITH THE ANALYSIS AND PURITY FACTORS INDICATED THEREON. ALL SEED SHALL BE FRESH, CURRENT YEARS REQUIREMENTS IN FORCE AT THE TIME FOR PURITY, PERCENTAGE OF GERMINATION, ETC.

SEED MIX IS A FOLLOWS:

MIX	
WIMMER RYEGRASS	54 LBS/ACRE
CALIFORNIA OAKS	36 LBS/ACRE
BLANDO BROME	35 LBS/ACRE
ROSE CLOVER	27 LBS/ACRE
BAY AREA WILD FLOWER MIX	9 LBS/ACRE
TOTAL:	161 LBS/ACRE

11. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF PUBLIC WORKS.

12. SAND BAGS OR STRAW WATTLES SHALL BE STOCKPILED ON SITE WHEN RAIN FORECAST IS 40% OR GREATER, OR WHEN DIRECTED BY THE INSPECTOR.

13. SAND BAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL. APPROVED SAND BAG FILL MATERIALS ARE SAND, DECOMPOSED GRANITE AND/OR GRAVEL, OR OTHER MATERIALS APPROVED BY THE INSPECTOR.

IMPACT ON EXISTING IMPROVEMENTS

1. ALL EXISTING IMPROVEMENTS, IF DAMAGED OR DISTURBED DURING REMEDIAL GRADING CONSTRUCTION SHALL BE REPAIRED OR REMOVED AND REPLACED TO PRE-PROJECT CONDITIONS CONSISTENT WITH THE AS-BUILT IMPROVEMENT PLANS. EXISTING IMPROVEMENTS INCLUDE BUT ARE NOT LIMITED TO, GRADED BENCHES, ROADWAY PAVEMENT, CURB, GUTTER, SIDEWALK, DRIVEWAYS, STREET LIGHTS, FIRE HYDRANTS, STORM DRAIN LINES, STORM DRAIN STRUCTURES, UTILITY BOXES, CONCRETE LIMED DITCHES AND AC PATHWAYS.

RECONSTRUCTION OF CONCRETE DRIVEWAYS, SIDEWALKS AND PAVEMENT SHALL MEET THE CURRENT PUBLIC WORKS STANDARDS WITH SIDEWALKS DOWELED INTO EXISTING ADJACENT CONCRETE FACILITIES. EXISTING SIDEWALK TO BE REPLACED SHALL BE SAWCUT AT WEAKENED PLANE JOINTS OR EXPANSION JOINTS. EXISTING PAVEMENT SHALL BE SAWCUT A MINIMUM OF 1" FROM THE NEW GUTTER LIP.

REFER TO CONTRA COSTA COUNTY STANDARD PLANS CA70, CA71, CA72 & CA74 DATED 3/2014. ALL WORK WILL REQUIRE INSPECTION BY THE PUBLIC WORKS DEPARTMENT.

2. THE APPLICANT'S CONTRACTOR SHALL BE REQUIRED TO PROVIDE COLLECTION AND DIVERSION MEASURES FOR ANY STORM DRAINAGE FACILITIES THAT WILL BE REMOVED DURING REMEDIAL GRADING WORK.

SUBDRAIN CONSTRUCTION NOTES

1. DRAINAGE GRAVEL SHALL CONSIST OF CLEAN 1/2" TO 3/4" DRAIN ROCK WRAPPED IN GEOTEXTILE FABRIC (MIRAFI 140N OR APPROVED EQUIVALENT).

2. PERFORATED SUBRAIN PIPE EMBEDDED IN DRAINAGE GRAVEL SHALL BE A MINIMUM 6" DIAMETER, RIGID, PERFORATED PLASTIC PIPE (ISCHEDULE 40 OR APPROVED EQUIVALENT).

3. DIRECT PLACEMENT DISCHARGE LINES AND CLEANOUT LINES SHALL CONSIST OF RIGID, NO PERFORATED PLASTIC PIPE (ISCHEDULE 40 OR APPROVED EQUIVALENT).

4. THE HIGH END AND ALL 90-DEGREE BENDS OF SUBRAIN PIPE SHALL BE CONNECTED TO A RISER WHICH EXTENDS TO THE SURFACE AND ACTS AS A CLEANOUT. THE NUMBER OF CLEANOUTS CAN BE REDUCED BY INSTALLING SWEEP 90 DEGREE BENDS OR PAIRS OF 45 DEGREE BENDS IN SUCCESSION INSTEAD OF USING TIGHT 90 DEGREE BENDS.

5. LOCATION OF ALL SUBSURFACE DRAIN LINES AND ANY OUTFLOW LINES SHALL BE ACCURATELY DOCUMENTED IN THE FIELD BY A QUALIFIED LAND SURVEY AND AN AS-BUILT MAP PREPARED.

6. GENERAL SOIL BACKFILL IN A TRENCH OR PLACED ABOVE A BLANKET DRAIN AS PART OF THE REMEDIAL GRADING BUTTERSS AND/OR OUTFALL LINE CONSTRUCTION SHALL BE SUBJECT TO THE COMPACTION REQUIREMENTS FOR ENGINEERED FILL AS STATED IN THE "GENERAL EARTHWORK" SECTION OF THE REVISED GEOTECHNICAL STUDY.

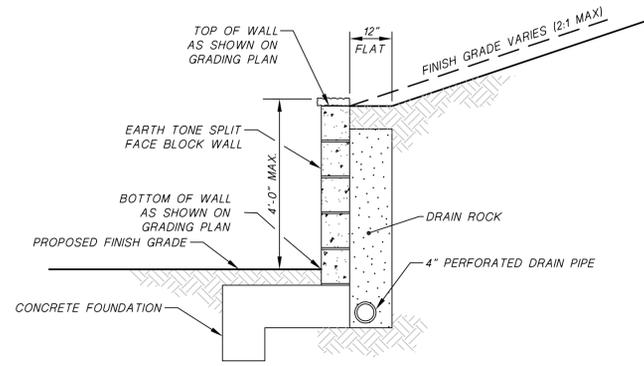
REVISIONS
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 NO

GRADING PLANS - SUBD 9330
 RANCHO LAGUNA II
 GENERAL & GRADING NOTES

TOWN OF MORAGA, CONTRA COSTA COUNTY, CA

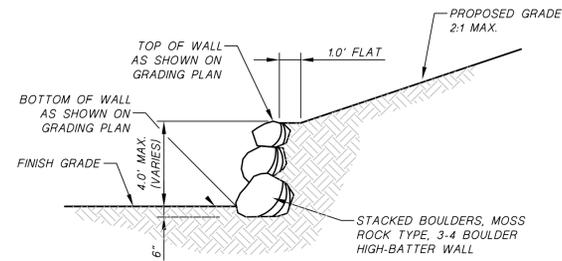
3021 Citrus Circle, Suite 150
 Walnut Creek, California 94598-2635
 TEL (925) 210-9300

DATE: 03/18/2015
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N1
 2 OF 15 SHEETS
 PROJ. NO. 12009-20



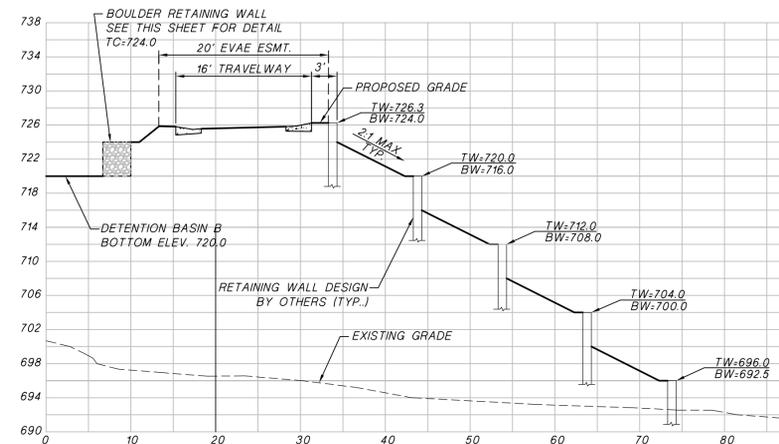
**SECTION 1-1
EARTH TONE SPLIT FACE BLOCK WALL**

SEE SHEET GR-03 FOR LOCATIONS NOT TO SCALE
FOR STRUCTURAL DESIGN AND ADDITIONAL INFORMATION,
REFER TO PLANS PREPARED BY DP ADVANCED ENGINEERING.



**SECTION 2-2
BOULDER WALL DETAIL AT DETENTION BASINS**

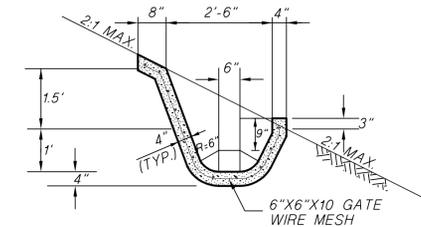
SEE SHEET GR-02 TO GR-06 FOR LOCATIONS NOT TO SCALE



SECTION 3-3

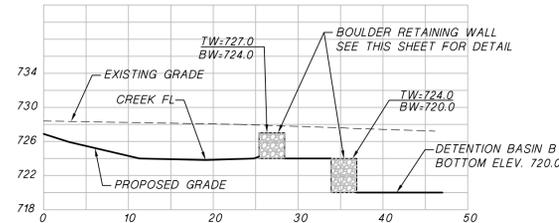
SEE SHEET GR-02 FOR LOCATION SCALE: HORZ 1":10' VERT 1":10'

NOTE:
FOR LIMITS OF CORRECTIVE GRADING, KEYWAYS AND SUBDRAINS
REFER TO CORRECTIVE GRADING PLANS PREPARED BY ENGeo, INC.
DATED OCTOBER 2014.



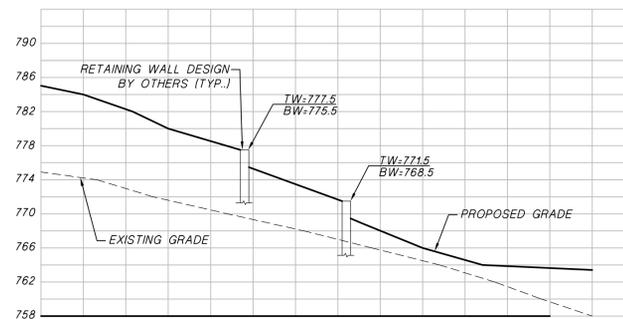
**SECTION 4-4
CONCRETE 'J' DITCH DETAIL**

SEE SHEET GR-05 FOR LOCATIONS N.T.S.



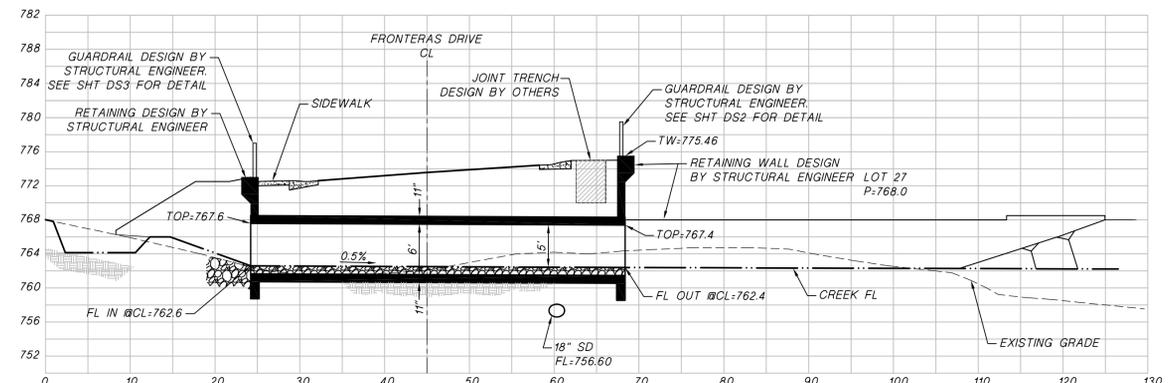
SECTION 5-5

SEE SHEET GR-02 FOR LOCATION SCALE: HORZ 1":10' VERT 1":10'



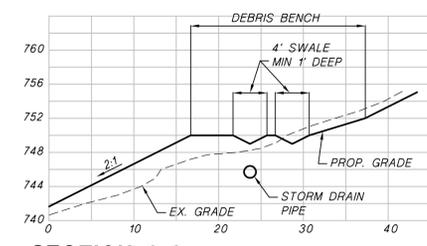
SECTION 6-6

SEE SHEET GR-01 FOR LOCATION SCALE: HORZ 1":10' VERT 1":10'



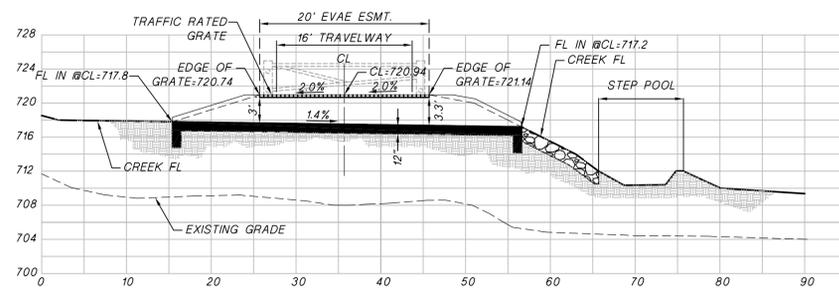
SECTION 7-7

SEE SHEET GR-01 FOR LOCATION SCALE: HORZ 1":10' VERT 1":10'



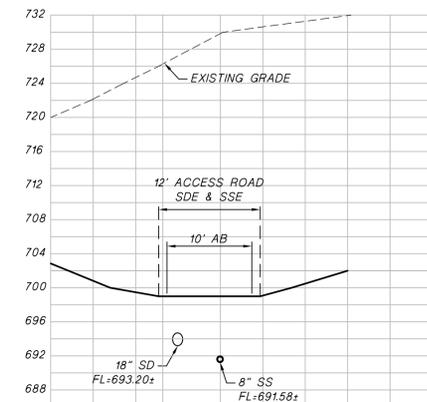
SECTION 8-8

SEE SHEET GR-02 FOR LOCATION SCALE: HORZ 1":10' VERT 1":10'



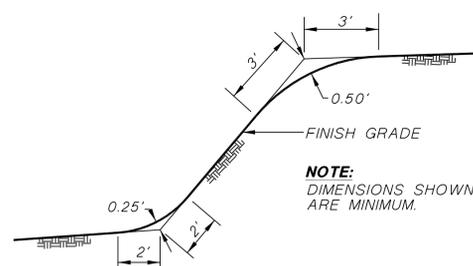
SECTION 9-9

SEE SHEET GR-02 FOR LOCATION SCALE: HORZ 1":10' VERT 1":10'

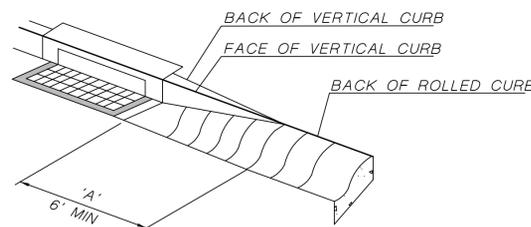


SECTION 10-10

SEE SHEET GR-05 FOR LOCATION SCALE: HORZ 1":10' VERT 1":10'

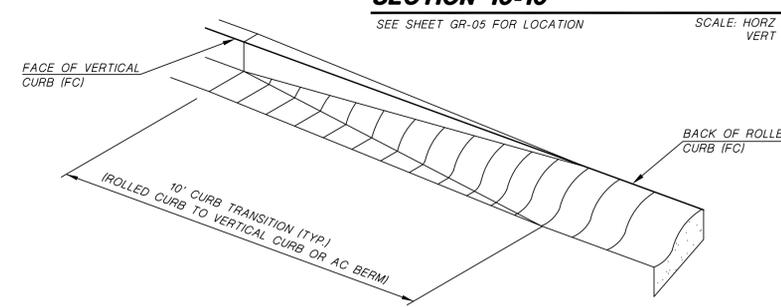


ROUNDING DETAIL
N.T.S.

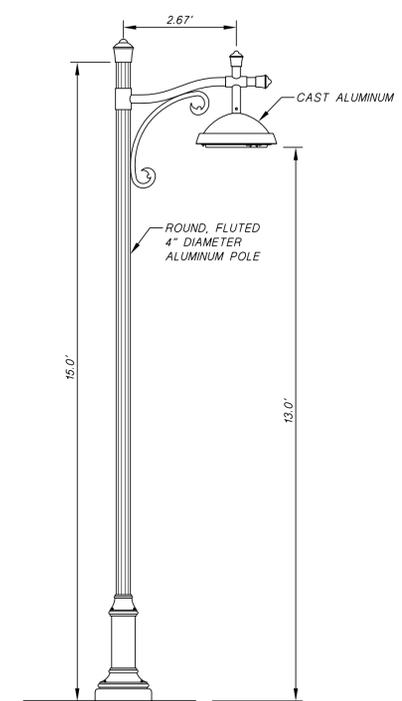


CURB TRANSITION (TYP.)
(ROLLED CURB TO VERTICAL CURB)
'A' IS GREATER OF EITHER CCC STANDARDS (CD20, CD21)
FOR DIMENSION 'A' OR 6'

**ROLLED CURB TRANSITION TO
VERTICAL CURB AT CATCH BASIN**
N.T.S.



**ROLLED CURB TRANSITION TO
CURB & GUTTER (TYPICAL)**
N.T.S.



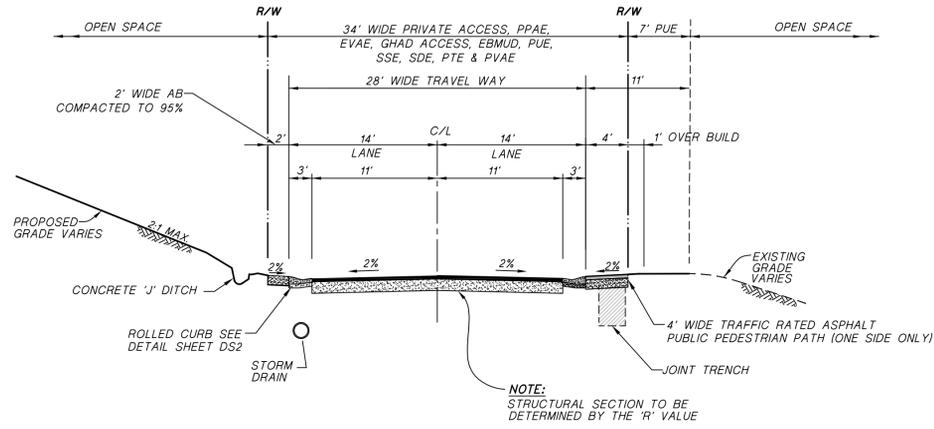
STREET LAMP ELEVATION
NOT TO SCALE

NO	BY	DATE	REVISIONS

GRADING PLANS - SUBD 9330
RANCHO LAGUNA II
DETAILS AND SECTIONS
TOWN OF MORAGA, CONTRA COSTA COUNTY, CA

P/A Design Resources, Inc.
Planning ■ Engineering ■ Surveying
3021 Citrus Circle, Suite 150
Walnut Creek, California 94598-2635
TEL (925) 210-9300

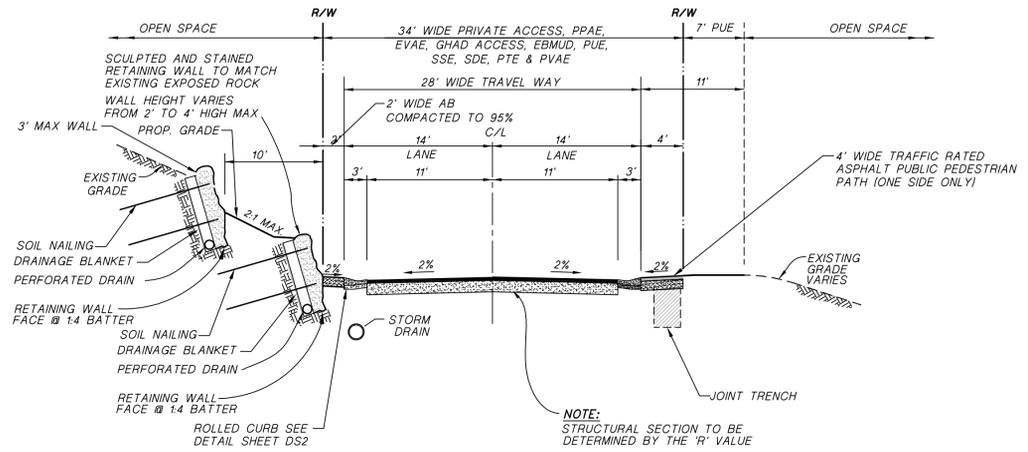
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3 OF 15 SHEETS	
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FAY HILL ROAD

TYPICAL SECTION STATION: 0+00 TO 2+75 LOOKING UP STATION; EAST N.T.S.

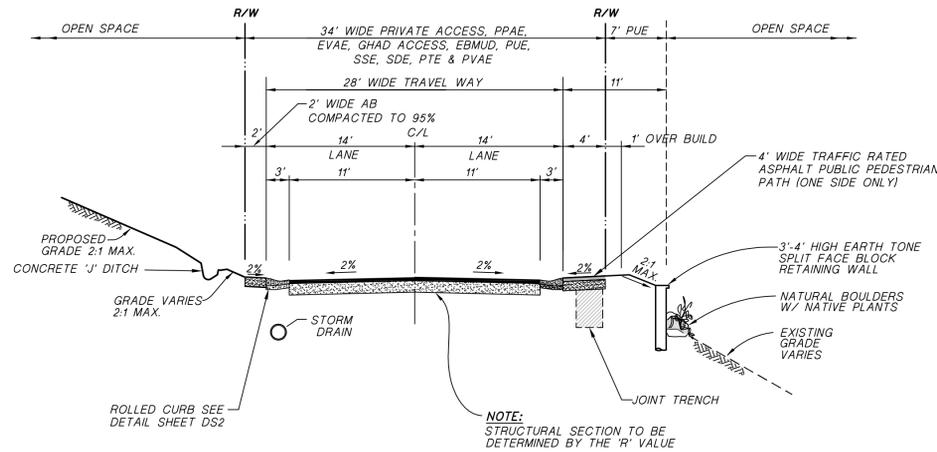
NOTE: STREET GRADE FOR FAY HILL DRIVE IS 19% OR LESS OVER ITS ENTIRE LENGTH.



FAY HILL ROAD

TYPICAL SECTION STATION: 3+49 TO 5+04 LOOKING UP STATION; EAST N.T.S.

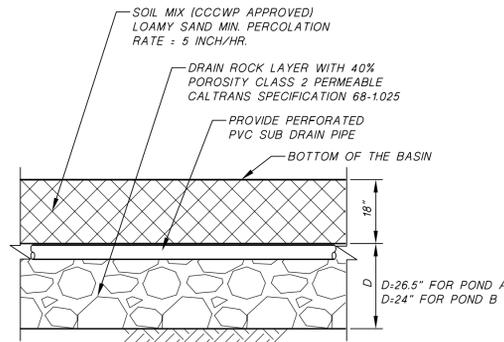
NOTE: STREET GRADE FOR FAY HILL DRIVE IS 19% OR LESS OVER ITS ENTIRE LENGTH.



FAY HILL ROAD

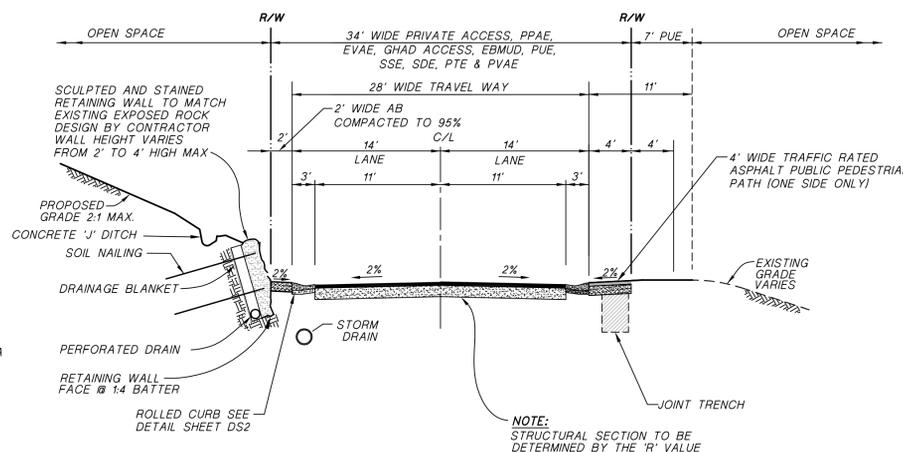
TYPICAL SECTION STATION: 2+75 TO 3+45 LOOKING UP STATION; EAST N.T.S.

NOTE: STREET GRADE FOR FAY HILL DRIVE IS 19% OR LESS OVER ITS ENTIRE LENGTH.



BIORETENTION POND DETAIL AND NOTES

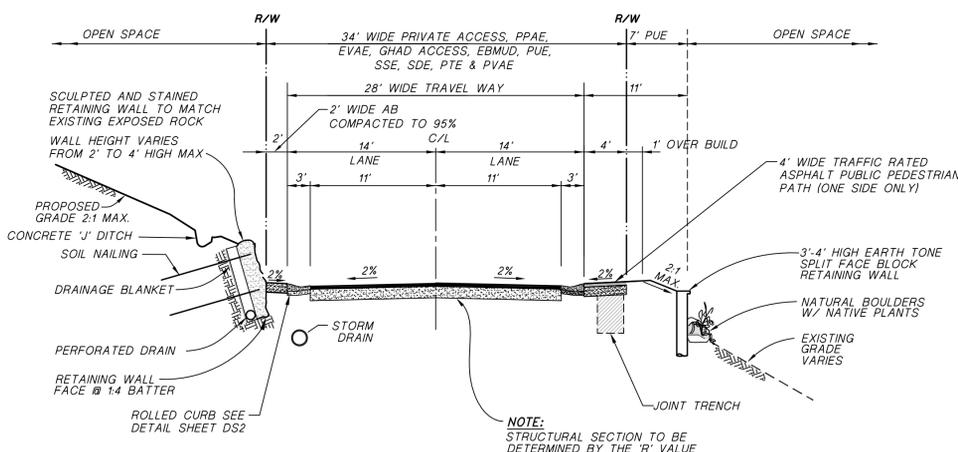
N.T.S.



FAY HILL ROAD

TYPICAL SECTION STATION: 5+04 TO 5+20 LOOKING UP STATION; EAST N.T.S.

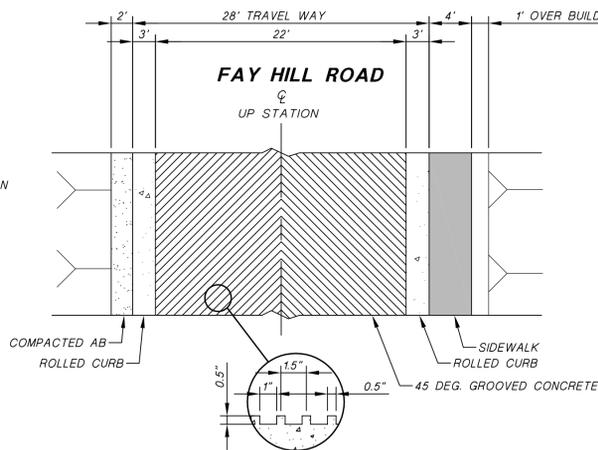
NOTE: STREET GRADE FOR FAY HILL DRIVE IS 19% OR LESS OVER ITS ENTIRE LENGTH.



FAY HILL ROAD

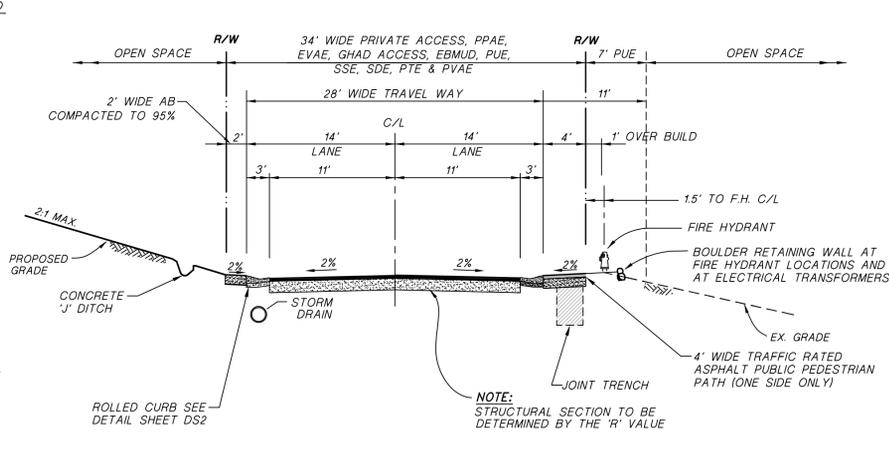
TYPICAL SECTION STATION: 3+45 TO 3+49 LOOKING UP STATION; EAST N.T.S.

NOTE: STREET GRADE FOR FAY HILL DRIVE IS 19% OR LESS OVER ITS ENTIRE LENGTH.



GROOVED CONCRETE DETAIL

SEE SHEET IP-01 FOR LOCATION N.T.S.



FAY HILL ROAD

TYPICAL SECTION STATION: 5+20 TO 9+45 LOOKING UP STATION; EAST N.T.S.

NOTE: STREET GRADE FOR FAY HILL DRIVE IS 19% OR LESS OVER ITS ENTIRE LENGTH. NOTE: FOR HORIZONTAL & VERTICAL LOCATION OF THE UNDERGROUND UTILITIES SEE IMPROVEMENT PLANS

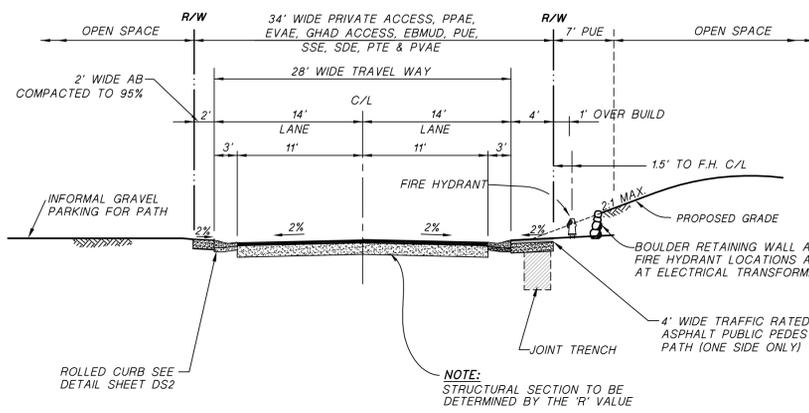
GRADING PLANS - SUBD 9330
RANCHO LAGUNA II
DETAILS AND SECTIONS

P/A Design Resources, Inc.
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3021 Citrus Circle, Suite 150
Walnut Creek, California 94598-2635
TEL (925) 210-9300

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VERT. ---
DESIGN:
CHECKED:
SHEET

DS3
5 OF 15 SHEETS
PROJ. NO. 12009-20

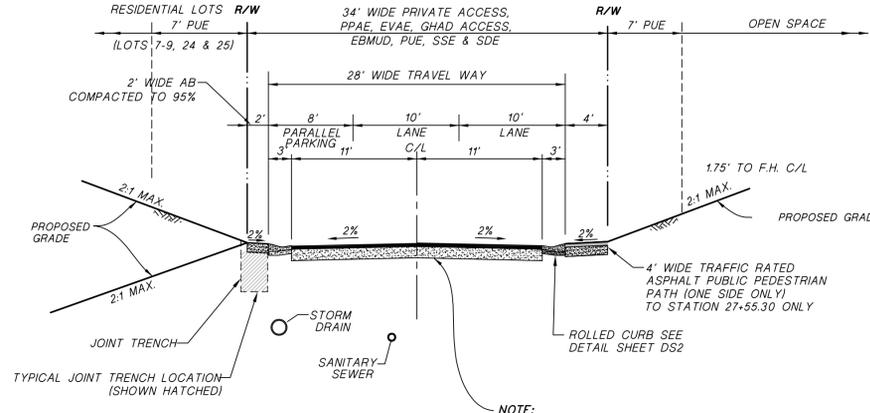
NO	BY	DATE	REVISIONS



FAY HILL ROAD

TYPICAL SECTION STATION: 9+45 TO 10+35 LOOKING UP STATION, SOUTH N.T.S.

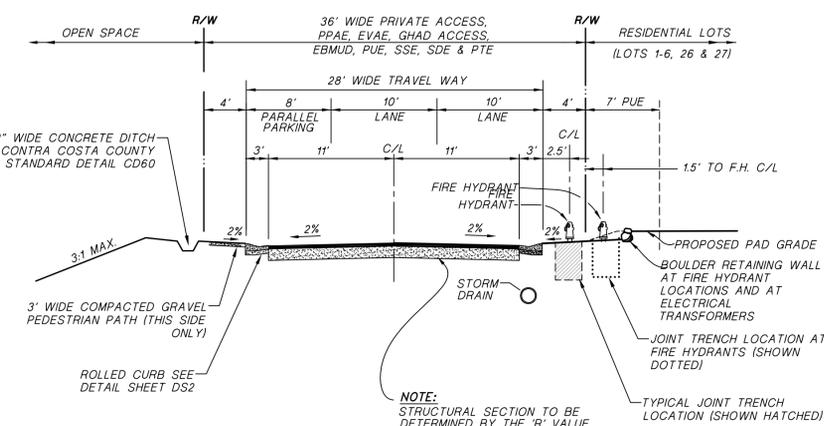
NOTE: STREET GRADE FOR FAY HILL DRIVE IS LESS THAN 16% OVER ITS ENTIRE LENGTH.



SONORA ROAD

TYPICAL SECTION STATION: 22+72 TO 27+72 LOOKING UP STATION, SOUTH N.T.S.

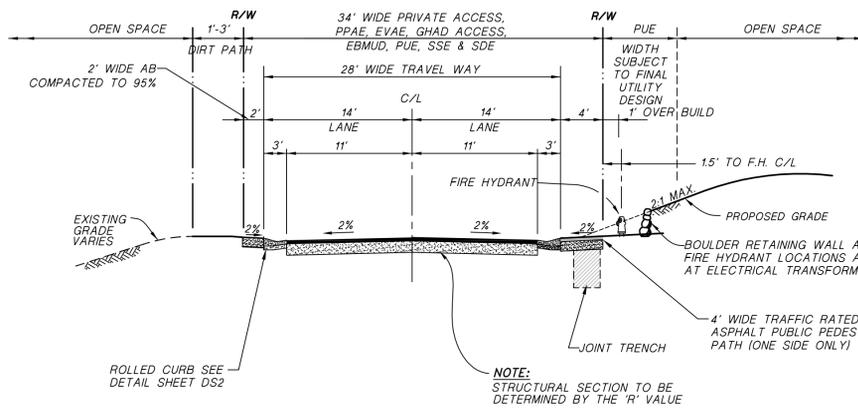
NOTE: STREET GRADE FOR SONORA ROAD STREET IS LESS THAN 16% OVER ITS ENTIRE LENGTH.



FRONTERAS DRIVE

TYPICAL SECTION STATION: BEG TO 1+86 LOOKING UP STATION N.T.S.

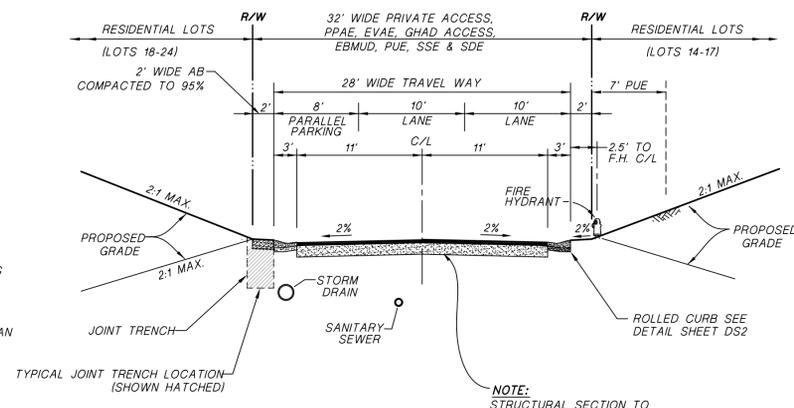
NOTE: STREET GRADE FOR MEDIGAN COURT IS LESS THAN 13.25% OVER ITS ENTIRE LENGTH.



SONORA ROAD

TYPICAL SECTION STATION: 10+35 TO 14+87 LOOKING UP STATION, SOUTH N.T.S.

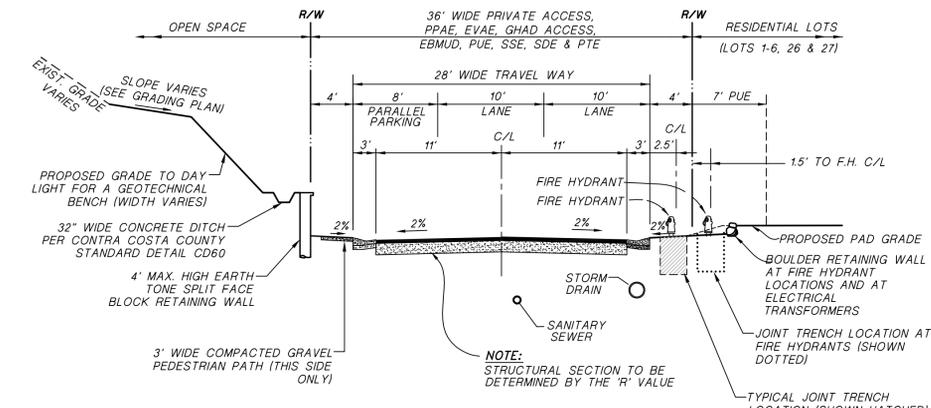
NOTE: STREET GRADE FOR SONORA ROAD IS LESS THAN 16% OVER ITS ENTIRE LENGTH.



SONORA ROAD

TYPICAL SECTION STATION: 27+72 TO END LOOKING UP STATION, NORTHEAST N.T.S.

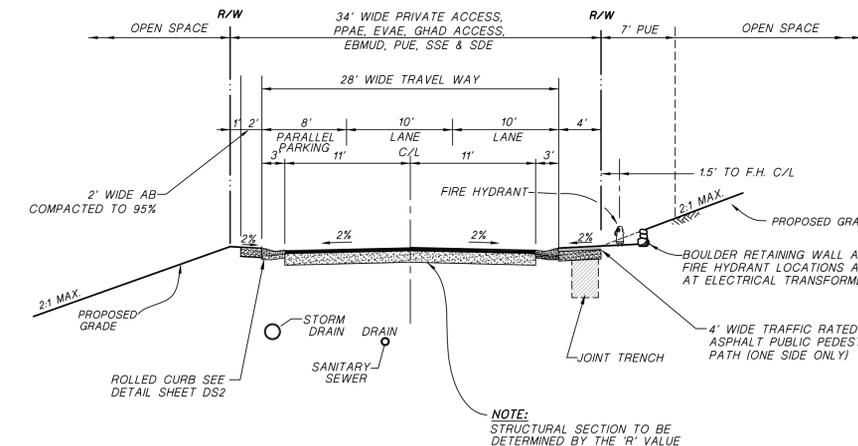
NOTE: STREET GRADE FOR SONORA ROAD IS LESS THAN 16% OVER ITS ENTIRE LENGTH.



FRONTERAS DRIVE

TYPICAL SECTION STATION: 1+86 TO END LOOKING UP STATION N.T.S.

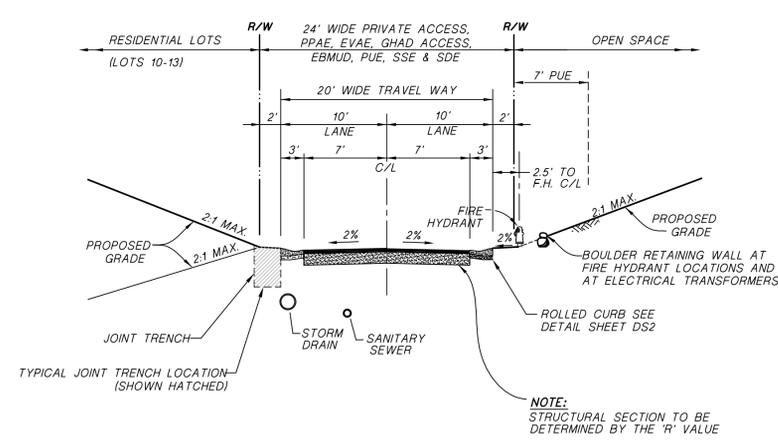
NOTE: STREET GRADE FOR MEDIGAN COURT IS LESS THAN 7.5% OVER ITS ENTIRE LENGTH.



SONORA ROAD

TYPICAL SECTION STATION: 14+87 TO 22+72 LOOKING UP STATION, SOUTH N.T.S.

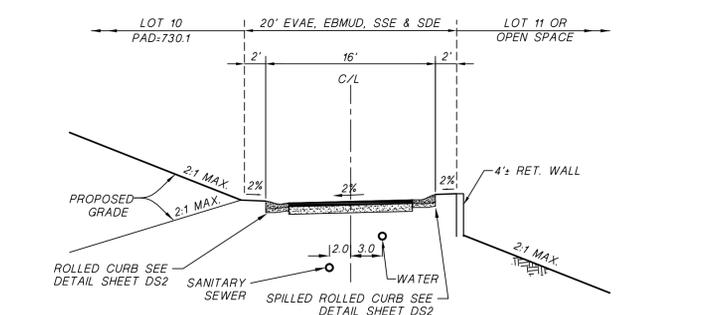
NOTE: STREET GRADE FOR SONORA ROAD STREET IS LESS THAN 16% OVER ITS ENTIRE LENGTH.



LOS SANTOS COURT

TYPICAL SECTION STATION: LOOKING UP STATION, SOUTH N.T.S.

NOTE: STREET GRADE FOR LOS SANTOS COURT IS LESS THAN 11% OVER ITS ENTIRE LENGTH.



EVAE

TYPICAL SECTION STATION: LOOKING UP STATION, EAST N.T.S.

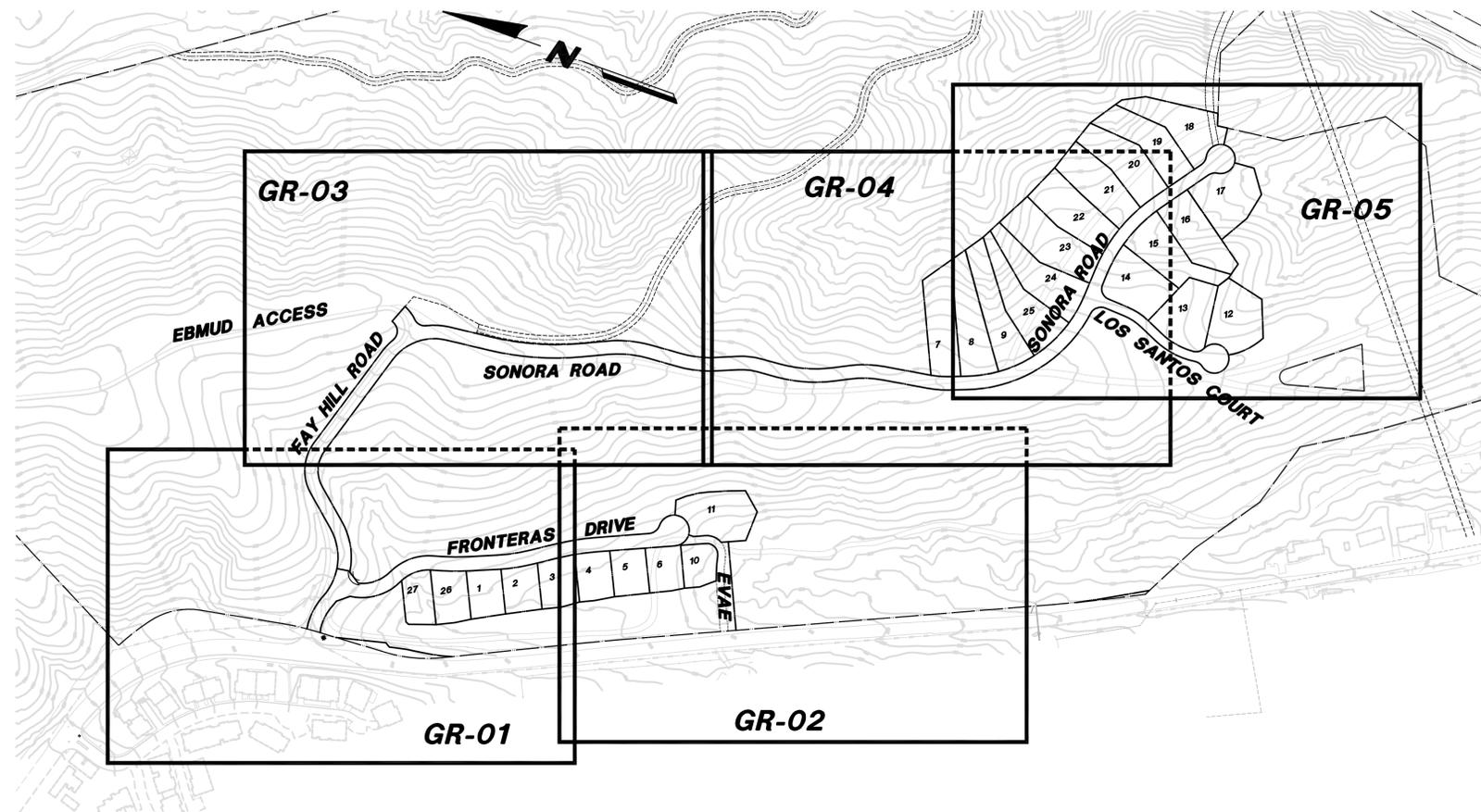
NOTE: FOR HORIZONTAL & VERTICAL LOCATION OF THE UNDERGROUND UTILITIES SEE IMPROVEMENT PLANS

NO.	BY	DATE	REVISIONS

GRADING PLANS - SUBD 9330
RANCHO LAGUNA II
 DETAILS AND SECTIONS
 TOWN OF MORAGA, CONTRA COSTA COUNTY, CA

P/A Design Resources, Inc.
 Planning ■ Engineering ■ Surveying
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 VERT. ---
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 SHEET
DS4
 6 OF 15 SHEETS
 PROJ. NO. 12009-20



LEGEND

PROPOSED	ITEM	EXISTING
	STORM DRAIN W/CATCH BASIN	
	STORM DRAIN W/MANHOLE	
	SANITARY SEWER	
	SANITARY SEWER WITH MAN HOLE	
	WATER LINE	
	SUBDIVISION BOUNDARY	
	LOT LINE	
	CENTER LINE	
	RIGHT OF WAY	
	RETAINING WALL 4' HIGH	
	RETAINING WALL LESS THAN 4' HIGH	
	CONCRETE 'J' DITCH	
ADJ	ADJUSTED	
AB	AGGREGATE BASE	
ASB	AGGREGATE SUB BASE	
ADS-N12	ADVANCED DRAINAGE SYSTEMS POLYETHYLENE CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH INTERIOR	
B/W	BACK OF WALK	
BEG	BEGINNING	
BLDG	BUILDING	
BW	BOTTOM OF WALL	
CL	CENTER LINE	
CNST	CONSTRUCT	
C OR CONC	CONCRETE	
EBMUD	EAST BAY MUNICIPAL UTILITY DISTRICT	
ESMT	EASEMENT	
EX. OR EXIST.	EXISTING	
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	
FC	FACE OF CURB	
FF	FINISHED FLOOR	
FL	FLOW LINE	
G	GROUND	
GB	GRADE BRAKE	
GFF	GARAGE FINISHED FLOOR	
GHAD	GEOLOGIC HAZARD ABATEMENT DISTRICT	
GR	GRATE	
HP	HIGH POINT	
JBOX	JUNCTION BOX	
LG	LIP OF GARAGE	
LP	LOW POINT	
MIN.	MINIMUM	
O.C.	ON CENTER	
P/L	PROPERTY LINE	
PAV	PAVEMENT	
PPAE	PUBLIC PEDESTRIAN ACCESS EASEMENT	
PSDE	PRIVATE STORM DRAIN EASEMENT	
PTF	PUBLIC TRAIL EASEMENT	
PTSA	PUBLIC TRAIL STAGING AREA	
PUE	PUBLIC UTILITY EASEMENT	
PVAE	PUBLIC VEHICLE ACCESS EASEMENT	
ROW	RIGHT OF WAY	
S/W	SIDEWALK	
SD	STORM DRAIN	
SDE	STORM DRAIN EASEMENT	
SEC.	SECTION	
SHT.	SHEET	
SS	SANITARY SEWER	
SSE	SANITARY SEWER EASEMENT	
STR	STRUCTURE	
TC	TOP OF CURB	
TW	TOP OF WALL	
TYP	TYPICAL	
x720.5	SPOT ELEVATION	

STREET NAME	STATION		T.I.	PRELIM. FINAL	R * VALUE	A.C. (INCH)	A.B. (INCH)	A.S. (INCH)	TOTAL SECTION
	FROM	TO							
RHEEM BOULEVARD (PUBLIC)	6+10.00	28+50.00	7	P	5	4"	15.5"		19.5"
LOS SANTOS COURT B COURT (PRIVATE ROAD)	0+00.00	3+94.83	5	P	5	3"	10"		13"
FAY HILL DRIVE E STREET (PRIVATE ROAD)	0+00.00	9+45.33	5	P	5	3"	10"		13"
SONORA ROAD E STREET & C COURT (PRIVATE ROAD)	9+45.33	END	5	P	5	3"	10"		13"
FRONTERAS DRIVE D DRIVE (PRIVATE ROAD)	0+00.00	END	5	P	5	3"	10"		13"
EVAE ROAD (PRIVATE ROAD)	0+00.00	END	5	P	5	3"	10"		13"
BASIN ACCESS ROAD (PRIVATE ROAD)	3+94.83	10+94.79	5	P	5	-	10"		10"
FAY HILL ROAD (PRIVATE ROAD)	0+00.00	2+60.00	5	P	5	3"	10"		13"
EBMUD ACCESS ROAD**	0+00.00	2+60.00	5	F					

* ACTUAL R VALUES TO BE ESTABLISHED IN FIELD UPON PREPARATION OF THE SUB-BASE BY GEOTECHNICAL ENGINEER.

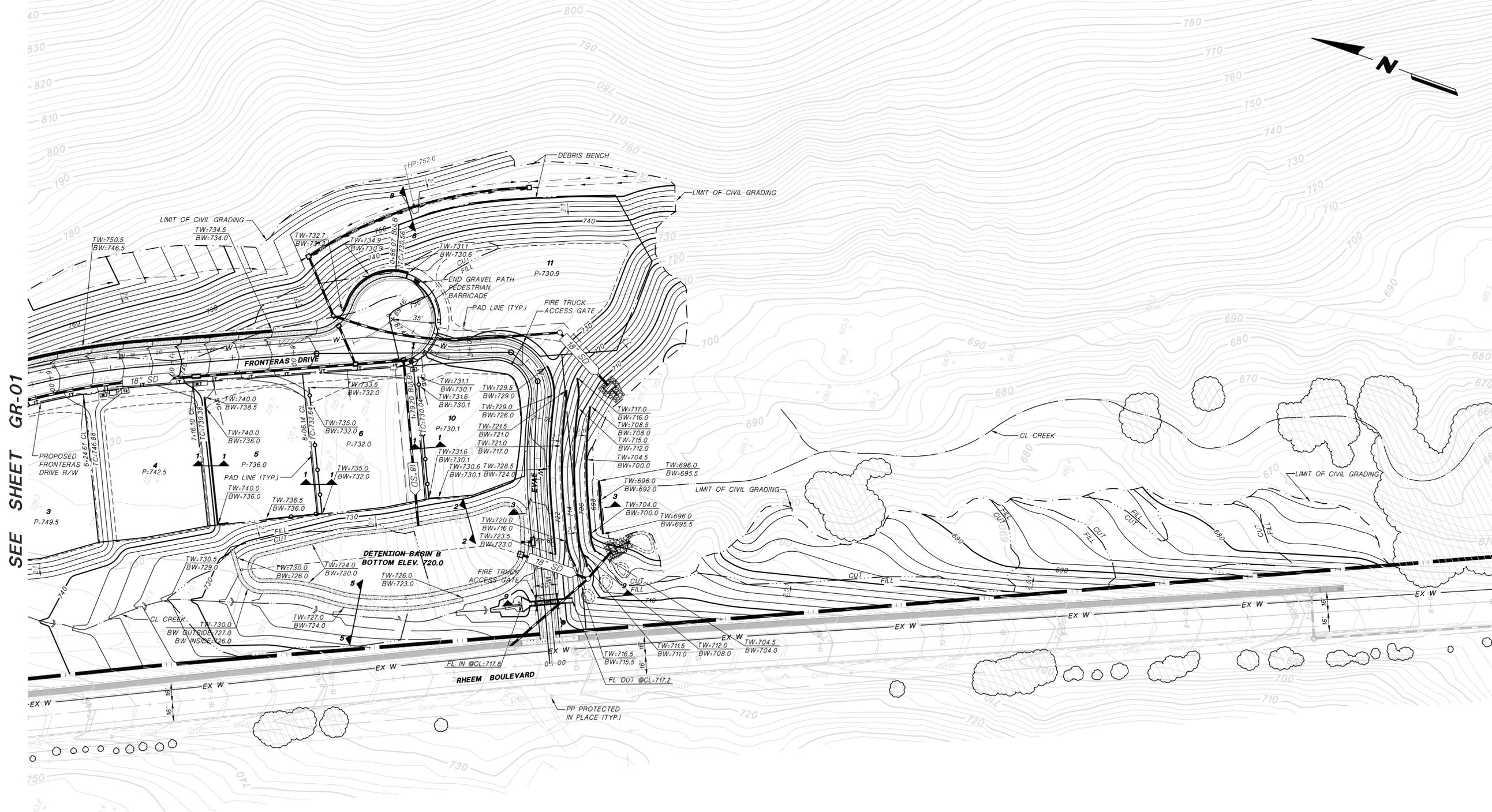
** STRUCTURAL SECTION TO BE DETERMINED BY THE 'R' VALUE OR MATCH EXISTING PAVEMENT SECTION AS MINIMUM.

NO	BY	DATE	REVISIONS

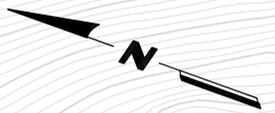
GRADING PLANS - SUBD 9330
RANCHO LAGUNA II
 GRADING SHEET INDEX AND LEGEND
 TOWN OF MORAGA, CONTRA COSTA COUNTY, CA

P/A Design Resources, Inc.
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 Walnut Creek, California 94598-2635
 TEL (925) 210-9300

DATE: 03/18/2015
 SCALE: 1"=200'
 VERT. ---
 DESIGN:
 CHECKED:
 SHEET



SEE SHEET GR-01

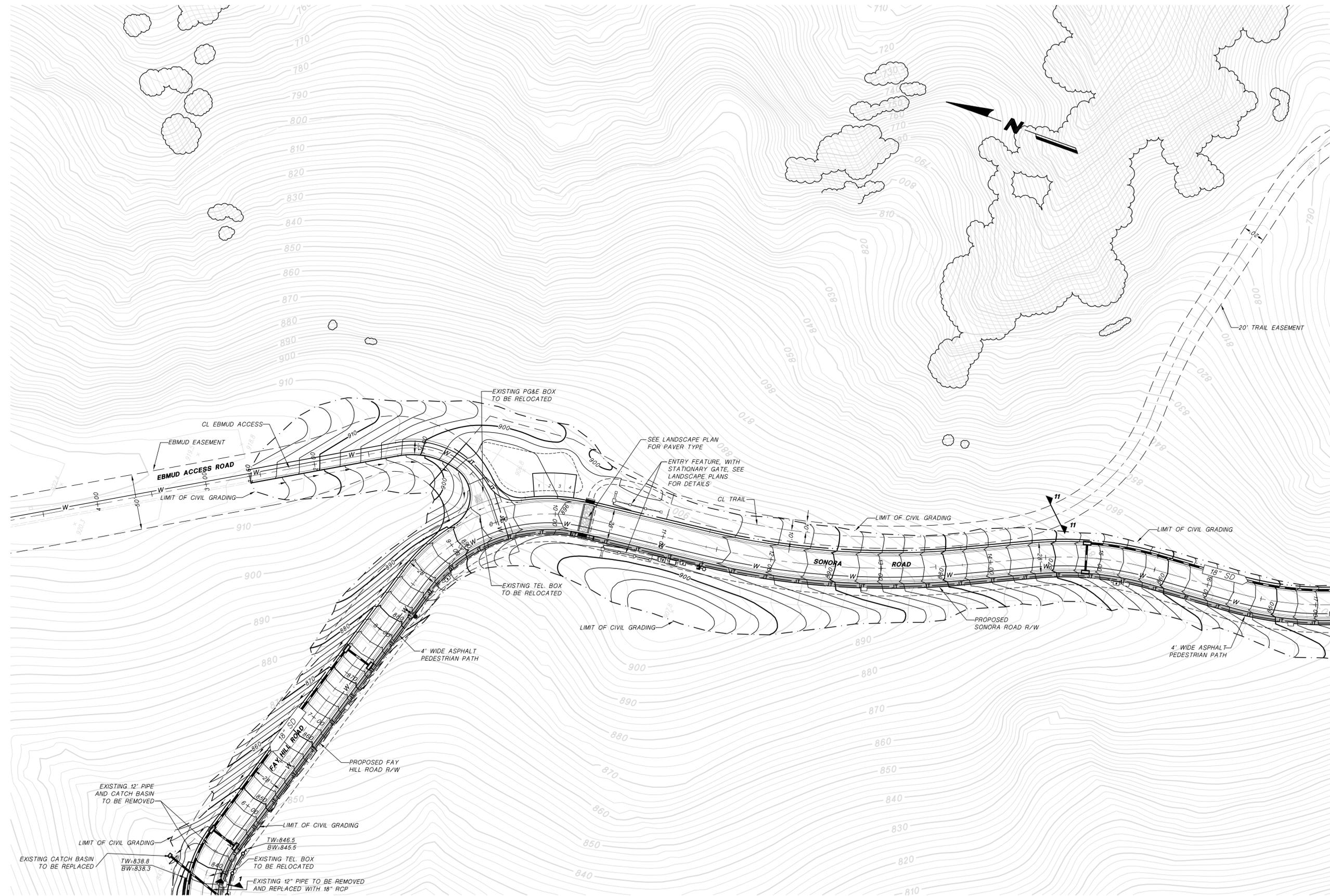


GRADING PLANS - SUBD 9330
RANCHO LAGUNA II
 GRADING PLAN
 TOWN OF MORAGA, CONTRA COSTA COUNTY, CA

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DATE:	03/18/2015
SCALE:	SCALE: 1"=40'
	VERT. ..
DESIGN:	
CHECKED:	
SHEET:	
GR-02	
9 OF 15 SHEETS	
PROJ. NO.	12009-20

NO.	BY	DATE	REVISIONS



SEE SHEET GR-01

SEE SHEET GR-04

NO	BY	DATE	REVISIONS

GRADING PLANS - SUBD 9330
RANCHO LAGUNA II
 GRADING PLAN
 TOWN OF MORAGA, CONTRA COSTA COUNTY, CA

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DATE:	03/18/2015
SCALE:	SCALE: 1"=40' VERT. --
DESIGN:	
CHECKED:	
SHEET:	

GR-03
 10 OF 15 SHEETS
 PROJ. NO. 12009-20

SEE SHEET GR-03



SEE SHEET GR-05

NOTE: ALL RETAINING WALLS ON THE LOTS ARE EARTH TONE SPLIT FACE BLOCK TO BE DESIGNED AND CONSTRUCTED BY WALL SUPPLIER AND CONTRACTOR

DATE:	03/18/2015
SCALE:	SCALE: 1"=40'
	VERT. ..
DESIGN:	
CHECKED:	
SHEET:	

GR-04
11 OF 15 SHEETS
PROJ. NO. 12009-20

GRADING PLANS - SUBD 9330
RANCHO LAGUNA II
GRADING PLAN
TOWN OF MORAGA, CONTRA COSTA COUNTY, CA

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NO.	BY	DATE	REVISIONS



SEE SHEET GR-04

NOTE: SEE SHEET DS-1 FOR DETAIL

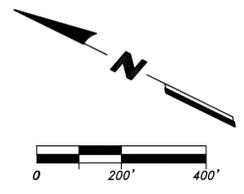
NO.	BY	DATE	REVISIONS

GRADING PLANS - SUBD 9330
RANCHO LAGUNA II
 GRADING PLAN
 TOWN OF MORAGA, CONTRA COSTA COUNTY, CA

PA Design Resources, Inc.
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 Walnut Creek, California 94598-2635 TEL (925) 210-9300

DATE:	03/18/2015
SCALE:	SCALE: 1"=40' VERT. --
DESIGN:	
CHECKED:	
SHEET:	

GR-05
 12 OF 15 SHEETS
 PROJ. NO. 12009-20

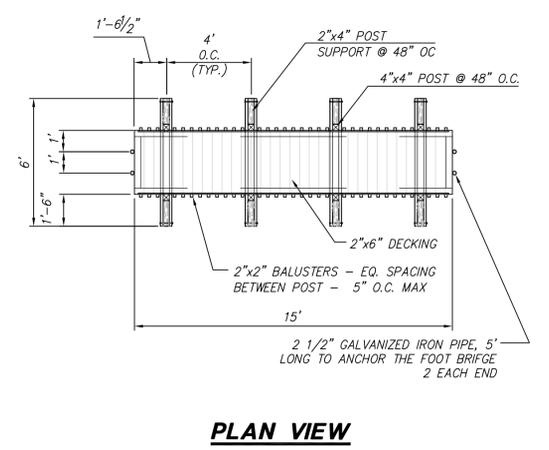
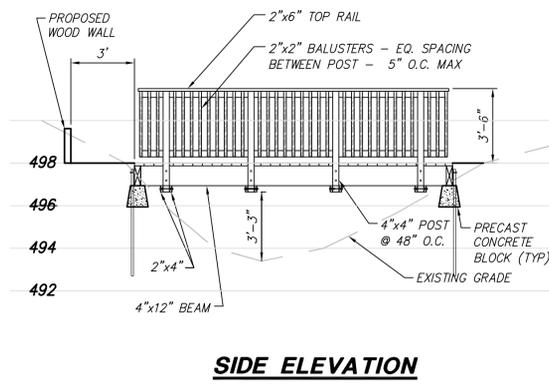
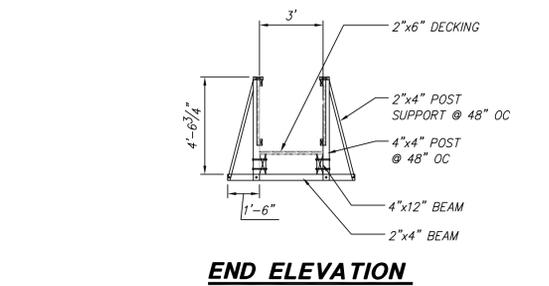
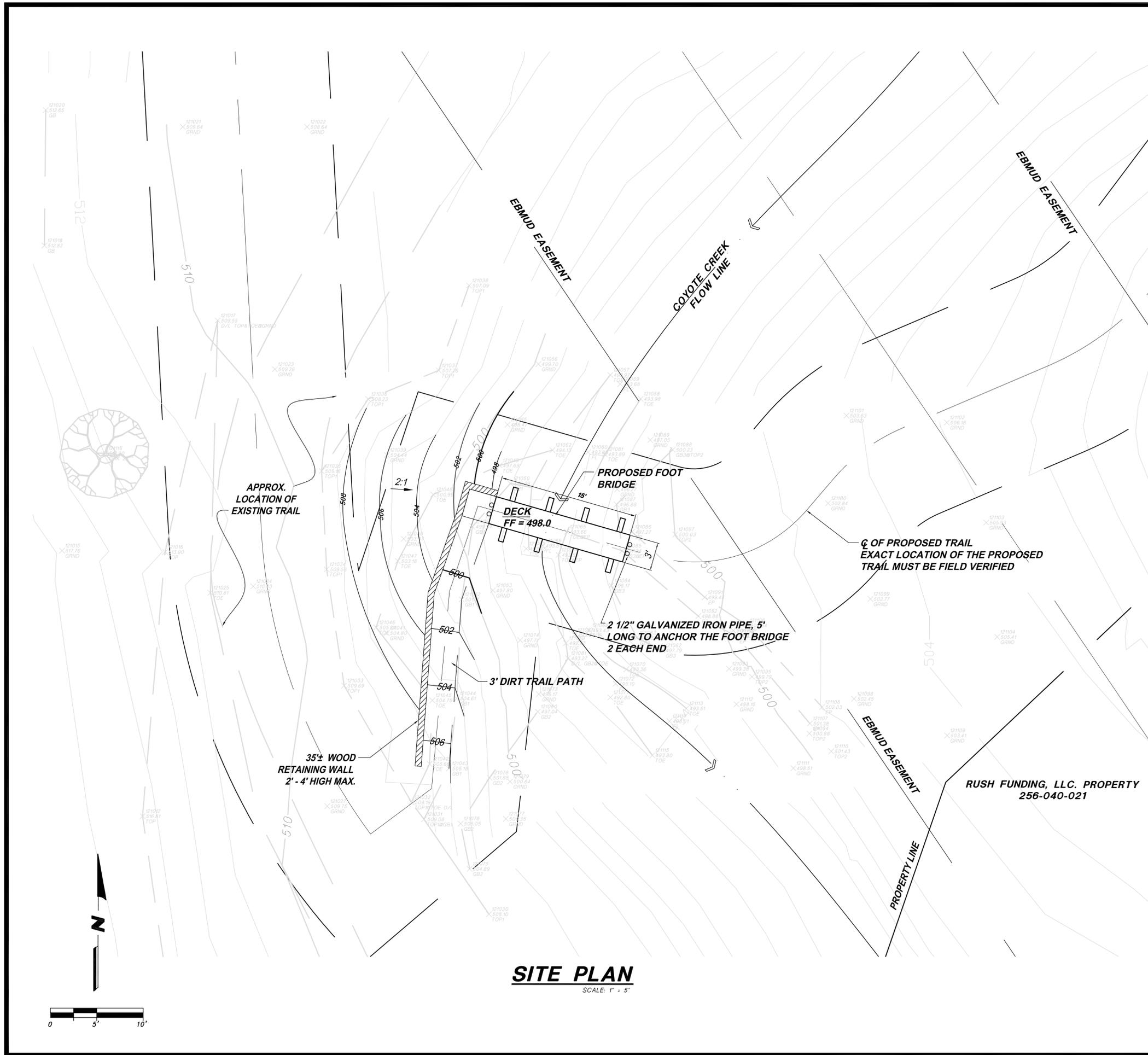


NO.	BY	DATE	REVISIONS

SUBDIVISION 9330
RANCHO LAGUNA II
PEDESTRIAN PUBLIC TRAIL
OVERALL
TOWN OF MORAGA, CONTRA COSTA COUNTY, CA


Design Resources, Inc.
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SCALE:	SCALE: VERT.
DESIGN:	
CHECKED:	
SHEET:	
GR-06	
13 OF 15 SHEETS	
PROJ. NO. 12009-20	



FOOT BRIDGE PLAN

USE PRESSURE TREATED LUMBER FOR CONSTRUCTION OF THE BRIDGE DECK AND RAILING

SCALE: 1/4" = 1'

SUBDIVISION 9330
RANCHO LAGUNA II
PEDESTRIAN FOOT BRIDGE
DETAILS

P/A Design Resources, Inc.
Planning ■ Engineering ■ Surveying

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Walnut Creek, California 94598-2635

DATE: 03/18/2015
SCALE: VERT.
DESIGN:
CHECKED:
SHEET

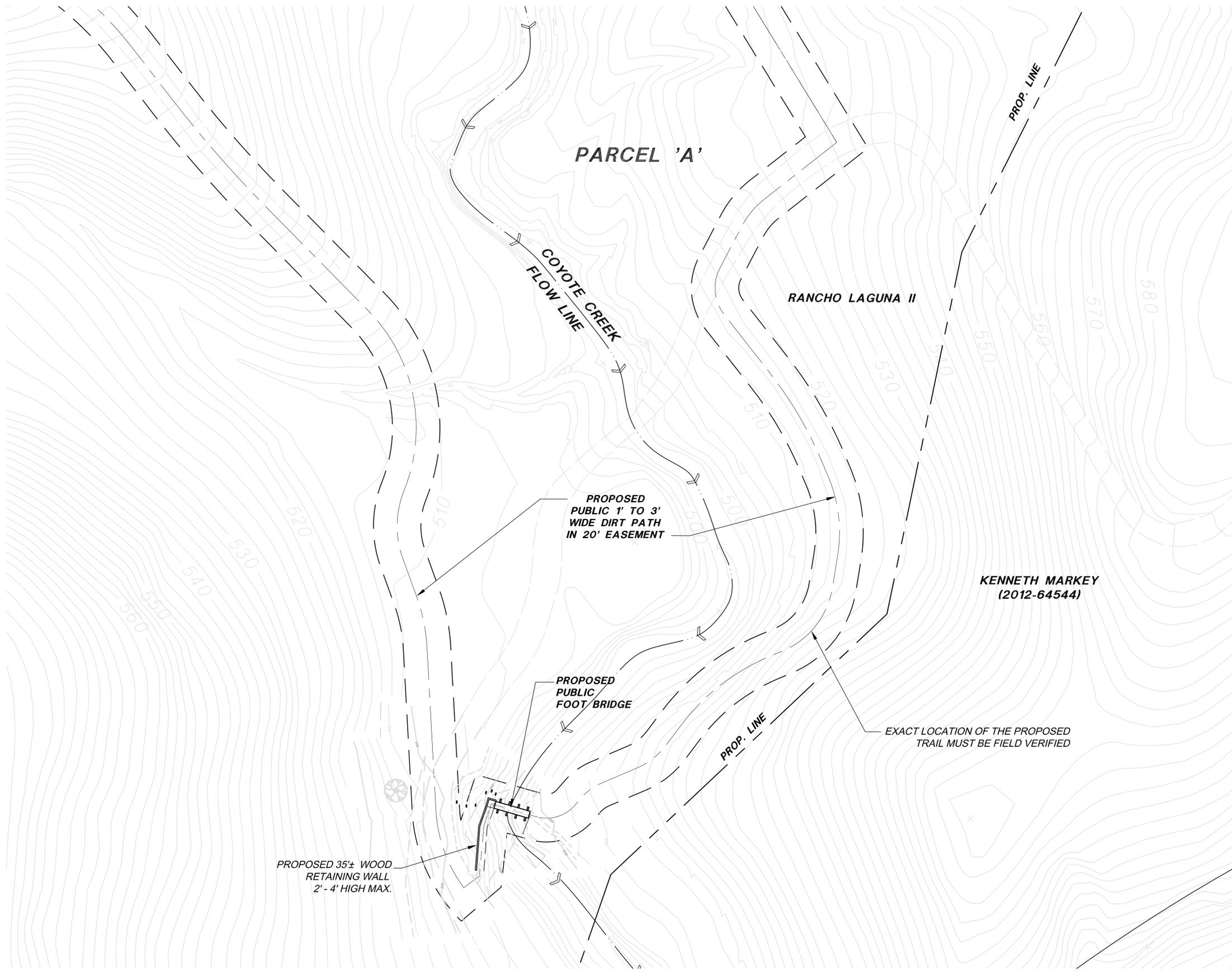
GR-07
14 OF 15 SHEETS
PROJ. NO. 12009-20

NO. BY DATE REVISIONS

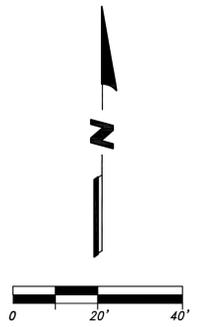
TOWN OF MORAGA, CONTRA COSTA COUNTY, CA

TEL (925) 210-9300

TEL (925) 94598-2635



SITE PLAN
SCALE: 1" = 20'



NO	BY	DATE	REVISIONS

SUBDIVISION 9330
RANCHO LAGUNA II
 PEDESTRIAN FOOT BRIDGE
 SITE PLAN
 TOWN OF MORAGA, CONTRA COSTA COUNTY, CA

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DATE: 03/18/2015
 SCALE: VERT.
 DESIGN:
 CHECKED:
 SHEET
GR-08
 15 OF 15 SHEETS
 PROJ. NO. 12009-20

P:\Drawings\12009-20-Rancho Laguna\Grading Plans\GR 6-8 Trail.dwg, 3/17/2015 1:17:38 PM, station h, 1:1, P/A Design Resources, Inc.

ATTACHMENT F

COLOR AND MATERIAL PALETTES

RANCHO LAGUNA
MORAGA, CALIFORNIA
BY SUMMERHILL HOMES

COLOR AND MATERIAL BOARDS | MARCH 2015



SCHEME 1

COLOR AND MATERIALS BOARD PLAN 1 - CALIFORNIA RANCH

RANCHO LAGUNA | MORAGA, CA

BODY



SHERWIN WILLIAMS
SOFTER TAN
SW 6141

TRIM



SHERWIN WILLIAMS
SUITABLE BROWN
SW 7054

ACCENT 1



SHERWIN WILLIAMS
SHERATON SAGE
SW 0014

**ACCENT 2 /
FRONT DOOR**



SHERWIN WILLIAMS
DAPPER TAN
SW 6144

WINDOW



ANDERSON
400 SERIES
DARK BRONZE

ROOF



EAGLE ROOFING
CHARCOAL RANGE - 5699
PONDEROSA

STONE



EL DORADO STONE
BIRCH
LEDGECUT33



SCHEME 2

COLOR AND MATERIALS BOARD PLAN 1 - CALIFORNIA RANCH (ALT)

RANCHO LAGUNA | MORAGA, CA

BODY



SHERWIN WILLIAMS
COMPATIBLE CREAM
SW 6387

TRIM



SHERWIN WILLIAMS
ROCK BOTTOM
SW 7062

**ACCENT /
FRONT DOOR**



SHERWIN WILLIAMS
DOWN HOME
SW

WINDOW



ANDERSON
400 SERIES
DARK BRONZE

ROOF



EAGLE ROOFING
BROWN RANGE - 5689
PONDEROSA

STONE



EL DORADO STONE
BIRCH
LEDGECUT33



SCHEME 3

COLOR AND MATERIALS BOARD PLAN 2 - BAY CLASSIC

RANCHO LAGUNA | MORAGA, CA

BODY



SHERWIN WILLIAMS
PACER WHITE
SW 6098

TRIM



SHERWIN WILLIAMS
ROYCROFT BRONZE
GREEN SW 2846

ACCENT



SHERWIN WILLIAMS
COBBLE BROWN
SW 6082

WINDOW



ANDERSON
400 SERIES
DARK BRONZE

ROOF



CERTAINTEED
THUNDERSTORM GRAY
LANDMARK

STONE



EL DORADO STONE
SANIBEL
COASTAL REEF



SCHEME 4

COLOR AND MATERIALS BOARD PLAN 2 - CRAFTSMAN

RANCHO LAGUNA | MORAGA, CA

BODY



SHERWIN WILLIAMS
PRACTICAL BEIGE
SW 6100

TRIM



SHERWIN WILLIAMS
CRAFT PAPER
SW 6125

ACCENT 1



SHERWIN WILLIAMS
OAK CREEK
SW 7718

**ACCENT 2 /
FRONT DOOR**



SHERWIN WILLIAMS
ROOKWOOD TERRA
COTTA SW 2803

WINDOW



ANDERSON
400 SERIES
TERRATONE

ROOF



CERTAINTEED
HEATHER BLEND
LANDMARK

STONE



EL DORADO STONE
CASTAWAY
STACKED STONE



SCHEME 5

COLOR AND MATERIALS BOARD PLAN 3 - CALIFORNIA RANCH

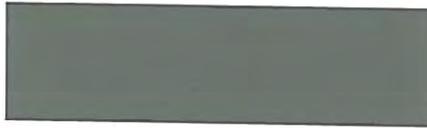
RANCHO LAGUNA | MORAGA, CA

BODY



SHERWIN WILLIAMS
BONA FIDE BEIGE
SW 6065

TRIM



SHERWIN WILLIAMS
GAUNTLET GRAY
SW 7019

ACCENT



SHERWIN WILLIAMS
TANBARK
SW 6061

WINDOW



ANDERSON
400 SERIES
DARK BRONZE

ROOF



EAGLE ROOFING
SIERRA MADRE - 5503
PONDEROSA

STONE



EL DORADO STONE
GOLDEN OAK
LEDGECUT33

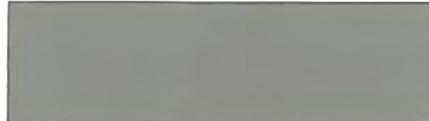


SCHEME 6

COLOR AND MATERIALS BOARD PLAN 3 - BAY CLASSIC

RANCHO LAGUNA | MORAGA, CA

BODY



SHERWIN WILLIAMS
HAMMERED SILVER
SW 2840

TRIM 1



SHERWIN WILLIAMS
GAUNTLET GRAY
SW 7019

TRIM 2



SHERWIN WILLIAMS
UNFUSSY BEIGE
SW 6043

ACCENT



SHERWIN WILLIAMS
TANBARK
SW 6061

WINDOW



ANDERSON
400 SERIES
TERRATONE

ROOF



CERTAINTED
CHARCOAL BLACK
LANDMARK

STONE



EL DORADO STONE
SANIBEL
COASTAL REEF



SCHEME 7

COLOR AND MATERIALS BOARD PLAN 4 - CALIFORNIA RANCH

RANCHO LAGUNA | MORAGA, CA

BODY



SHERWIN WILLIAMS
SAND BEACH
SW 7529

TRIM



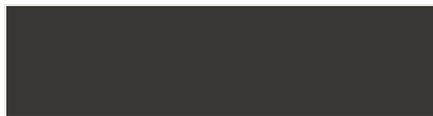
SHERWIN WILLIAMS
GRIZZLE GRAY
SW 7068

ACCENT



SHERWIN WILLIAMS
CANYON CLAY
SW 6054

WINDOW



ANDERSON
400 SERIES
DARK BRONZE

ROOF



EAGLE ROOFING
SIERRA MADRE - 5503
PONDEROSA

STONE



EL DORADO STONE
GOLDEN OAK
LEDGECUT 33

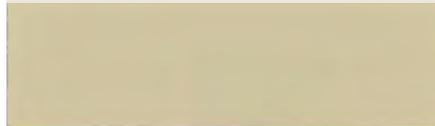


SCHEME 8

COLOR AND MATERIALS BOARD PLAN 4 - CRAFTSMAN

RANCHO LAGUNA | MORAGA, CA

BODY



SHERWIN WILLIAMS
BITTERSWEET STEM
SW 7536

SHINGLE



SHERWIN WILLIAMS
ROOKWOOD CLAY
SW 2823

TRIM



SHERWIN WILLIAMS
BLACK FOX
SW 7020

**ACCENT /
FRONT DOOR**



SHERWIN WILLIAMS
BREVITY BROWN
SW 6068

WINDOW



ANDERSON
400 SERIES
DARK BRONZE

ROOF



CERTAINTEED
CHARCOAL BLACK
LANDMARK

STONE



EL DORADO STONE
DRY CREEK
STACKED STONE



SCHEME 9

COLOR AND MATERIALS BOARD PLAN 5 - CALIFORNIA RANCH

RANCHO LAGUNA | MORAGA, CA

BODY



SHERWIN WILLIAMS
FAMILIAR BEIGE
SW 6093

TRIM



SHERWIN WILLIAMS
BLACK FOX
SW 7020

ACCENT 1



SHERWIN WILLIAMS
CANOE
SW 7724

ACCENT 2



SHERWIN WILLIAMS
JUTE BROWN
SW 6096

WINDOW



ANDERSON
400 SERIES
TERRATONE

ROOF



EAGLE ROOFING
BROWN RANGE - 5689
PONDEROSA

STONE



EL DORADO STONE
BIRCH
LEDGECUT 33



SCHEME 10

COLOR AND MATERIALS BOARD PLAN 5 - BAY CLASSIC

RANCHO LAGUNA | MORAGA, CA

BODY



SHERWIN WILLIAMS
KILIM BEIGE
SW 6106

TRIM



SHERWIN WILLIAMS
BLACK FOX
SW 7020

ACCENT



SHERWIN WILLIAMS
COCONUT HUSK
SW 6111

WINDOW



ANDERSON
400 SERIES
DARK BRONZE

ROOF



CERTAINTEED
MAX DEF MOIRE BLACK
LANDMARK

STONE



EL DORADO STONE
SANIBEL
COASTAL REEF



SCHEME 11

COLOR AND MATERIALS BOARD PLAN 5 - CRAFTSMAN

RANCHO LAGUNA | MORAGA, CA

BODY



SHERWIN WILLIAMS
CARDBOARD
SW 6124

SHINGLE



SHERWIN WILLIAMS
FAMILIAR BEIGE
SW 6093

TRIM



SHERWIN WILLIAMS
EIDER WHITE
SW 7014

ACCENT 1



SHERWIN WILLIAMS
COCONUT HUSK
SW 6111

**ACCENT 2 /
FRONT DOOR**



SHERWIN WILLIAMS
ROOKWOOD TERRA
COTTA SW2803

WINDOW



ANDERSON
400 SERIES
CANVAS

ROOF



CERTAINTEED
HEATHER BLEND
LANDMARK

STONE



EL DORADO STONE
NANTUCKET
STACKED STONE



SCHEME 12

COLOR AND MATERIALS BOARD PLAN 6 - CALIFORNIA RANCH

RANCHO LAGUNA | MORAGA, CA

BODY



SHERWIN WILLIAMS
TATAMI TAN
SW 6116

TRIM 1



SHERWIN WILLIAMS
BLACK FOX
SW 7020

TRIM 2



SHERWIN WILLIAMS
TEA CHEST
SW 6103

**ACCENT 1 /
SIDING**



SHERWIN WILLIAMS
HUSH WHITE
SW 6103

**ACCENT 2 /
FRONT DOOR**



SHERWIN WILLIAMS
HOT COCOA
SW6047

WINDOW



ANDERSON
400 SERIES
DARK BRONZE

ROOF



EAGLE ROOFING
CHARCOAL RANGE- 5689
PONDEROSA

STONE



EL DORADO STONE
GOLDEN OAK
LEDGECUT 33



SCHEME 13

COLOR AND MATERIALS BOARD PLAN 6 - BAY CLASSIC

RANCHO LAGUNA | MORAGA, CA

BODY



SHERWIN WILLIAMS
BONA FIDA BEIGE
SW 6065

SIDING



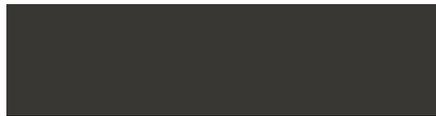
SHERWIN WILLIAMS
ROOKWOOD CLAY
SW 2823

TRIM / ACCENT



SHERWIN WILLIAMS
GAUNTLET GRAY
SW 7019

WINDOW



ANDERSON
400 SERIES
DARK BRONZE

ROOF



CERTAINTEED
MAX DEF MOIRE BLACK
LANDMARK

STONE



EL DORADO STONE
SANIBEL
COASTAL REEF



SCHEME 14

COLOR AND MATERIALS BOARD PLAN 6 - CRAFTSMAN

RANCHO LAGUNA | MORAGA, CA

BODY



SHERWIN WILLIAMS
SENSATIONAL SAND
SW 6094

SHINGLE



SHERWIN WILLIAMS
JUTE BROWN
SW 6096

TRIM



SHERWIN WILLIAMS
PURE WHITE
SW 7005

ACCENT



SHERWIN WILLIAMS
GAUNTLET GRAY
SW 7019

WINDOW



ANDERSON
400 SERIES
WHITE

ROOF



CERTAINTEED
CHARCOAL BLACK
LANDMARK

STONE



EL DORADO STONE
ALDERWOOD
STACKED STONE

COLOR AND MATERIALS BOARD CALIFORNIA RANCH ENTRY DOOR STYLE

RANCHO LAGUNA | MORAGA, CA



JELD-WEN - AURORA - ESTATE COLLECTION - A 1301
MAHOGANY WOODGRAIN PANEL DOOR
SEQUOIA FINISH SHOWN

IMAGE SHOWN IS REPRESENTATIONAL OF GENERAL DESIGN
INTENT AND QUALITY OF DOOR FINISH. ACTUAL DOOR STYLE
AND FINISH MAY VARY.

COLOR AND MATERIALS BOARD BAY CLASSIC ENTRY DOOR STYLE

RANCHO LAGUNA | MORAGA, CA



JELD-WEN - AURORA - ESTATE COLLECTION - A 1208
KNOTTY ALDER WOODGRAIN PANEL DOOR
ANTIQUÉ CARAMEL FINISH

IMAGE SHOWN IS REPRESENTATIONAL OF GENERAL DESIGN
INTENT AND QUALITY OF DOOR FINISH. ACTUAL DOOR STYLE
AND FINISH MAY VARY.

COLOR AND MATERIALS BOARD CRAFTSMAN ENTRY DOOR STYLE

RANCHO LAGUNA | MORAGA, CA



JELD-WEN - AURORA - ESTATE COLLECTION - A 1202
KNOTTY ALDER WOODGRAIN PANEL DOOR
CHAPPO FINISH

IMAGE SHOWN IS REPRESENTATIONAL OF GENERAL DESIGN
INTENT AND QUALITY OF DOOR FINISH. ACTUAL DOOR STYLE
AND FINISH MAY VARY.

COLOR AND MATERIALS BOARD CALIFORNIA RANCH GARAGE DOOR STYLE

RANCHO LAGUNA | MORAGA, CA



GARAGE DOOR INC - THE PLANTATION SERIES - SOBEY

IMAGES SHOWN ARE REPRESENTATIONAL OF GENERAL DESIGN INTENT AND QUALITY OF DOOR FINISH. ACTUAL GARAGE DOOR DESIGN MAY VARY.



COLOR AND MATERIALS BOARD BAY CLASSIC GARAGE DOOR STYLE

RANCHO LAGUNA | MORAGA, CA



GARAGE DOOR INC - THE PLANTATION SERIES - VILLA FELICE

IMAGES SHOWN ARE REPRESENTATIONAL OF GENERAL DESIGN INTENT AND QUALITY OF DOOR FINISH. ACTUAL GARAGE DOOR DESIGN MAY VARY.

COLOR AND MATERIALS BOARD CRAFTSMAN GARAGE DOOR STYLE

RANCHO LAGUNA | MORAGA, CA



GARAGE DOOR INC - THE PLANTATION SERIES - WINDOWOVER

IMAGES SHOWN ARE REPRESENTATIONAL OF GENERAL DESIGN INTENT AND QUALITY OF DOOR FINISH. ACTUAL GARAGE DOOR DESIGN MAY VARY.



COLOR AND MATERIALS BOARD

WINDOW STYLE

RANCHO LAGUNA | MORAGA, CA



ANDERSEN WINDOW - 400 SERIES - ALUMINUM CLAD WOOD WINDOWS



COLOR AND MATERIALS BOARD DOOR STYLE

RANCHO LAGUNA | MORAGA, CA



ANDERSEN PATIO DOORS - 400 SERIES - ALUMINUM CLAD WOOD DOORS



COLOR AND MATERIALS BOARD CALIFORNIA RANCH EXTERIOR LIGHTING

RANCHO LAGUNA | MORAGA, CA



PROGRESS LIGHTING - CYLINDER - P5675-31
5" CYLINDRICAL ALUMINUM WALL MOUNTED LIGHT FIXTURE. INSTALLED
WITH OPTIONAL TOP LENS COVER FOR COMPLETE DOWNLIGHTING.

FIXTURE SHOWN IS REPRESENTATIONAL OF GENERAL DESIGN INTENT AND
QUALITY OF LIGHT FIXTURE. ACTUAL LIGHT FIXTURE DESIGN MAY VARY.



COLOR AND MATERIALS BOARD BAY CLASSIC EXTERIOR LIGHTING

RANCHO LAGUNA | MORAGA, CA



**PROGRESS LIGHTING - SQUARE - P5644-31
6" SQUARE ALUMINUM WALL MOUNTED LIGHT FIXTURE. INSTALLED WITH
OPTIONAL TOP COVER LENS FOR COMPLETE DOWNLIGHTING.**

FIXTURE SHOWN IS REPRESENTATIONAL OF GENERAL DESIGN INTENT AND
QUALITY OF LIGHT FIXTURE. ACTUAL LIGHT FIXTURE DESIGN MAY VARY.

COLOR AND MATERIALS BOARD CRAFTSMAN EXTERIOR LIGHTING

RANCHO LAGUNA | MORAGA, CA



PROGRESS LIGHTING - NEWPORT - P5666-31
ALUMINUM WALL MOUNTED LIGHT FIXTURE. PAGODA STYLE SHADES LIMIT
UP LIGHT.

FIXTURE SHOWN IS REPRESENTATIONAL OF GENERAL DESIGN INTENT AND
QUALITY OF LIGHT FIXTURE. ACTUAL LIGHT FIXTURE DESIGN MAY VARY.



COLOR AND MATERIALS BOARD LANDSCAPE LIGHTING

RANCHO LAGUNA | MORAGA, CA



**HINKLEY LIGHTING - CASCADE - 1832BZ-GU24
EXTRUDED ALUMINUM ENTRY LANDSCAPE DOWN LIGHT FIXTURE.**

FIXTURE SHOWN IS REPRESENTATIONAL OF GENERAL DESIGN INTENT AND
QUALITY OF LIGHT FIXTURE. ACTUAL LIGHT FIXTURE DESIGN MAY VARY.



COLOR AND MATERIALS BOARD METAL FINISHES

RANCHO LAGUNA | MORAGA, CA



ALL EXTERIOR METAL DETAILING WILL BE PAINTED OR PRE-FINISHED WITH A NON-REFLECTIVE MATTE PAINT OR FINISH. METAL DETAILING MAY INCLUDE GUTTERS, ROOFING, GUARDRAILS AND AWNING SUPPORTS.

IMAGE OF STANDING SEAM METAL ROOF SHOWN IS REPRESENTATIONAL OF GENERAL DESIGN INTENT AND QUALITY OF METAL ROOFING AND METAL FINISHES.



COLOR AND MATERIALS BOARD LANDSCAPE PAVER

RANCHO LAGUNA | MORAGA, CA



BASALITE - ITALIAN RENAISSANCE - POSITANO/RUNNING BOND

SEE LANDSCAPE PLANS FOR LOCATION OF PAVER HARDSCAPING. STANDARD
HARDSCAPE PAVEMENT TO BE GRAY CONCRETE.

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ATTACHMENT G

MITIGATION MONITORING AND REPORTING PLAN

PROPOSED REVISIONS

UPDATED MITIGATION MONITORING and REPORTING PROGRAM FOR GDP/VTM

ENVIRONMENTAL IMPACT REPORT FOR THE RANCHO LAGUNA II 27 LOT PROJECT

Moraga, California

(Rancho Laguna, LLC is the Applicant/Project Sponsor)

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
3.10 LAND USE						
<p>** The Rancho Laguna II project as originally submitted and reviewed in the Draft EIR was for 35 single-family lots (referred to here as the 35 Lot Project). The project was revised during the Town's Conceptual Development Plan process (e.g., 27 lots, relocation of access off Rheem Boulevard to the upper development area from 'A' Way to Fay Hill Reservoir Road, preservation of the intermittent creek, avoidance of public view impacts, alternative method to stabilize high risk portion of Rheem Boulevard frontage) and referred to here as the 27 Lot Project. The project has been further refined in the Town's General Development Plan and Vesting Tentative Map process (e.g, lots relocated from the upper development area to realigned 'D' Drive, expanded detention/water quality basins, grading modifications, bike lanes on Rheem Boulevard) and is referred to here as the GDP/VTM Project. Some Mitigation Measures have been adjusted to reflect these changes. The description of potentially significant impacts and effect of mitigation for the</p>	<p>Mitigation Measure 3.10 #2: The open space areas of the property shall be subject to an Open Space Management Plan for the 27 Lot Project, that will provide the opportunity for the undeveloped 162 acres of the property to continue to be grazed as a means of fire protection and open space preservation, subject to the implementation of Mitigation Measure 3.55 #33 the purpose of which is to avoid long term degradation of open space and conservation habitats. The Open Space Management Plan, prepared by a qualified ecologist, shall be consistent with resource agency permit conditions, including jurisdictional and non-jurisdictional wetland and special status species monitoring, required by the USACE, RWQCB, and CDFG, in consultation with the USFWS. Those requirements shall be included in the final Wetland and Special-Status Species Mitigation and Monitoring Plan (Wetland/Special-Status Species Plan) prepared by a qualified restoration</p>	<p>Town Council shall review and approve the Open Space Management Plan prior to final subdivision map approval.</p> <p>Moraga-Orinda Fire District shall review and approve the Open Space Management Plan for consistency with local fire control guidelines and Fire Protection Plan (see Mitigation Measure 3.61 #1) .</p> <p>Town shall be copied on Agency communications with Project Sponsor related to construction monitoring and compliance with agency permit conditions.</p> <p>Town Council shall be</p>	<p>Town Planning Department, Town biology monitor, and Moraga-Orinda Fire District, with input from the USACE, USFWS, RWQCB and CDFG.</p> <p>Town Council for the GHAD formation and monitoring and, with Planning Department assistance, Open Space Management Plan final Wetland/Special-Status</p>	<p>GHAD shall be formed and Open Space Management Plan approved prior to final subdivision map approval.</p> <p>GHAD monitoring is ongoing.</p>		<p>92 93 94 95 96 97 237 238</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>previous 35 Lot Project and the 27 Lot Project in this column has not been revised to reflect the GDP/VTM Project. Rather, Findings adopted by the Town confirm the revised project will not result in new significant impact or an increase in the severity of an identified significant impact. Modifying this column would not effectively reflect the project history</p> <p>Impact 3.10 #2. Conversion of Agricultural Land: The project site is designated in the 2005 Contra Costa General Plan as part of the Moraga Sphere of Influence. The most recent revision to the County's Urban Limit Line (ULL), adopted in 2002, includes this parcel within the Urban Limit Line. The County's agricultural lands map shows the property as Important Farmland. The property is not in a Williamson Act contract, nor will development conflict with any existing lands zoned for agricultural use.</p> <p>In support of Goal LU5 and Policy LU5.1, it is recommended that the property's agricultural values be protected by grazing. Continued grazing will also assist with fire suppression. However, grazing can be (and has been) destructive to vegetation and drainages. Unless an open space management plan and fencing is implemented, this ongoing impact will be exacerbated. This is a potentially significant impact.</p> <p>The On-Site Wetland and Special-Status Mitigation and Monitoring Plan dated December 16, 2005, by Sycamore Associates, LLC, for the 35 lot project (2005 Wetland/Special-Status Species Plan) includes a grazing management plan intended to preserve and enhance the natural resources of the conserved open space,</p>	<p>ecologist/biologist and incorporated in the Open Space Management Plan. The Plan shall be consistent with and incorporate the Fire Protection Plan described in Mitigation Measure 3.61 #1.</p> <p>The Project Sponsor shall request formation of and the Town Council shall form a Geologic Hazard Abatement District (GHAD) for the project, as more fully set forth in Mitigation Measure 3.20 #5a. One GHAD responsibility shall be open space management, which may include grazing.</p> <p><i>[Also included as CDP Condition VI.2]</i></p>	<p>responsible for GHAD approval and implementation (see Mitigation Measure 3.20 #5a).</p>	<p>Species Plan approval.</p>			

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>and provide for fire hazard management. That 2005 Wetland/Special-Status Species Plan addressed 136 acres of open space, while the mitigated 27 lot project (27 Lot Project)P includes approximately 162 acres of open space and 18 acres of development (lots and roads).</p> <p>The Project Sponsor proposes that the Town Council form a Geologic Hazard Abatement District (GHAD) for the project. It will be funded by the Project Sponsor initially and then by the project homeowners. One of its responsibilities will be open space management, including grazing. The GHAD's activities and the sufficiency of its financial resources will be subject to Town review and direction. A long term Open Space Management Plan for the 162 acres of open space in the 27 Lot Project, referencing a revised Wetland and Special-Status Species Mitigation and Monitoring Plan, should be prepared, for implementation by the GHAD.</p> <p>This potentially significant impact of the GDP/VTM Project is less than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>						
<p>Impact 3.10 #4. Density: The proposed density of the 35 lot project is one unit less than the maximum allowable by the General Plan, assuming the decision-making body determines that project adequately mitigates for potential risks. 9 units are allowed at the lowest density of 1 unit per 20 acres (180 acres per 1 unit per 20 acres). If the highest density (1 unit per 5 acres) is deemed appropriate by the Planning Commission, then 36 units are allowable (180 acres at 1 unit per 5 acres). However, the higher density is predicated upon design which</p>	<p>Mitigation Measure 3.10 #4 in the Draft EIR is no longer necessary. No separate mitigation measure is required. This density impact of the 27 Lot Project as designed and otherwise mitigated is less than significant.</p>	N/A	N/A	N/A		

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>must address:</p> <ul style="list-style-type: none"> • environmental constraints, • availability of public services, • site planning issues, and • provision of open space and recreation areas. <p>The 35 lot project layout has avoided most of the high risk areas/ environmentally constrained areas. Mitigation measures have been identified that will allow for the reduction of these potential impacts to levels of less than significant. There are adequate public services to accommodate development as discussed in Section 3.60 of the EIR. The 35 lot project does provide for open space (136 acres) as well as for trails and staging area. There remain a few site planning issues that necessitate a redesign of the project. These include:</p> <p>Relocation of the Water Quality Basin: The water quality basin is proposed to be located below Lot 25 in the 35 lot project on slopes that exceed 20%. Significant excavation would need to occur in order to construct the proposed basin.</p> <p>Slope Issues: Lot Numbers 13, 14 and 24 in the 35 lot project have slope issues. Lot Numbers 13 and 14 are located at the eastern end of "D" Drive and include slopes exceeding 25% slope at their connection with "D" Drive. It is unlikely that either a driveway or a house pad could be developed on slopes consistent with OS-PD criteria as slopes exceed 25%. The same constraint is associated with Lot Number</p>						

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>24, located south of "C" Court. Development is inconsistent with criteria for development on non-MOSO lands.</p> <p>These two constraining issues in the 35 lot project would lead to development impacts that are potentially significant. The 27 Lot Project as mitigated eliminates the two constraining design issues. The primary water quality basin has been relocated to the southerly side of the "C" Court cul-de-sac ; the excavation required to relocate the basin can be mitigated by application of the Geology and Soils Mitigation Measures including MM 3.20 #8. A smaller basin is located along 'E' Street.. Lots on the southern plateau have been reconfigured and the grading changed so that no pads or driveways have an average slope of 25% or more. The debris benches have been relocated outside the lots on shortened "D" Drive. Impacts on public views of the minor ridge, hillsides and valleys are less than significant. The amount of open space has been increased from 136 acres to 162 acres (90% of the property), with the open lower Rheem Valley and other project design changes.</p> <p>The 27 Lot Project as mitigated has no significant environmental impacts. As designed, the 27 Lot Project density of 1 unit per 6.6 acres is appropriate, because the mitigated project has reduced all environmental impacts to less than significant, all site constraints are addressed, its design as mitigated is in compliance with the General Plan and its applicable goals and policies, 90% of the site is in open space with public trails, and public services are available. This density impact is now less than significant.</p>						

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>Draft EIR Mitigation Measure 3.10 #4 for the 35 lot project is no longer required because the 27 Lot Project has been redesigned consistent with the measure. Through project redesign and the other mitigation measures, all 27 Lot Project impacts have been reduced to less than significant, including Geotechnical and Soils Impacts 3.20, Hydrology, Drainage and Water Quality Impacts 3.30, Visual Quality, Parks, Recreation and Open Impacts 3.35 #1-7 and Biological Resources Impacts 3.55. Further reducing the lot count to any number less than 27 would not provide any additional, substantive reduction in environmental impacts and is not necessary to further address site or environmental constraints. Therefore, the impact of the 27 Lot Project and the GDP/VTM as designed and otherwise mitigated is less than significant and Mitigation Measure 3.10 #4 for the 35 lot project is not necessary for the 27 Lot Project.</p>						
<p>Impact 3.10 #5. MOSO/Non-MOSO Land Use: In 1986, Measure A, the Moraga Open Space Initiative (MOSO), redefined hillside open space designated lands to include all lands designated private and public open space. The associated new open space designation is OS-M and OS-PD. All development on the subject property (as currently proposed) is located on lands designated OS-PD. Development density in OS-PD designated lands is 1 dwelling unit per 20, 10, or 5 acres, depending upon the Town's determinations concerning site and environmental constraints, including the mitigation of geotechnical risk to less than significant.</p> <p>The site and status determination information has been evaluated and it has been determined</p>	<p>Mitigation Measure 3.10 #5 in the Draft EIR is no longer necessary. No separate mitigation is required to address this impact. This MOSO/Non-MOSO impact of the 27 Lot Project and GDP/VTM Project as designed and otherwise mitigated is less than significant.</p>	N/A	N/A	N/A		

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>that risk can be reduced to less than significant after implementation of the other mitigation measures, identified by environmental impact in the text of this DEIR. A brief assessment of the seven high risk factors is contained in Sections 3.20 (Geology and Soils) and 3.30- (Hydrology, Drainage and Water Quality). This is a less than significant impact with the mitigation.</p> <p>Through implementation of Mitigation Measures 3.20 #1 - 3.20 #10 and 3.30 #1 - 3.30 #3, all impacts related to geotechnical and hydrologic constraints will be mitigated. Mitigation Measure 3.10 #5 is redundant and no longer included. The density of 1 unit per 5 acres is the appropriate maximum density to consider in evaluating development of the project site.</p> <p>This MOSO/Non-MOSO impact of the recommended 27 Lot Project is less than with the 35 lot project. All development is in the OS-PD part of the project site. The overall density of the 27 Lot Project as mitigated, 1 unit per 6.6 acres, is appropriate based on how it addresses site constraints and environmental impacts, and because it has been designed to comply with the General Plan and applicable goals and policies. All 27 Lot Project and GDP/VTM Project impacts have been reduced to less than significant, including Geology and Soils Impacts 3.20 #1-10, Visual Quality, Parks, Recreation and Open Impacts 3.35 #1-7 and Biological Resources Impacts 3.55.</p> <p>Geotechnical instability and other risk to new development in the recommended 27 Lot Project, as well as all other significant environmental impacts, have been reduced to the extent that a further reduction in the number of lots would not provide any additional</p>						

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
environmental benefits under its General Plan designation or Open Space zoning district. Therefore, the impact of the 27 Lot Project as designed and otherwise mitigated is less than significant, and Mitigation Measure 3.10 #5 for the 35 lot project is not necessary for the 27 Lot Project. It is not necessary for the GDP/VTM Project						
3.20 GEOLOGY AND SOILS						
<p>Impact 3.20 #1. Ground Shaking: Strong ground shaking associated with a major earthquake in the region is considered to be a significant impact on the planned development.</p> <p>The potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.20 #1: The new buildings and other improvements will be designed and built in accordance with the latest UBC, and other code requirements.</p> <p>[Note: buildings designed and constructed in accordance with these requirements, and the recommendations of the geotechnical report, may experience some damage during a major seismic event but are unlikely to collapse or result in the loss of life.] <i>[Also included as CDP Condition VII. 1]</i></p>	Town of Moraga shall review the grading, and building plans to ensure compliance with the latest UBC and other code requirements.	Town Engineer, Town geotechnical consultant, and Building Inspection Services.	Prior to approval of final grading plan, and issuance of building permits.		252
<p>Impact 3.20 #3. Expansive Soils: The near surface clay soils and bedrock have a moderate to high plasticity and a high expansion potential as discussed in the ENGEO report. Expansive soils can detrimentally affect building foundations, slabs, pavements, retaining walls and other site improvements. The impacts due to soil expansion are, therefore, potentially significant.</p> <p>These potentially significant impacts of the 27 Lot Project and the GDP/VTM Project are no more than with the 35 lot project, and the mitigation will still reduce the impacts to less</p>	<p>Mitigation Measure 3.20 #3: The ENGEO report provides recommended measures for mitigating the effects of expansive soils on the project improvements. These protective measures shall be implemented during the design and construction phase of the project and are to be documented by the project geotechnical engineer:</p> <ol style="list-style-type: none"> Overexcavation of cut and fill lots; Moisture conditioning of fills to over optimum; and, 	Prior to approval of the individual lot foundation plans and subdivision improvement plans, Town of Moraga shall review plans for compliance.	Town Engineer and Town geotechnical consultant.	Prior to approval of improvement plans for the subdivision and individual lots.		152

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
than significant.	<p>c. Presoaking slab subgrade areas.</p> <p>The following additional measures can also be taken to minimize the effects of expansive soils:</p> <p>d. Providing a layer of non-expansive granular materials beneath slabs-on-grade as a cushion against building slab movement;</p> <p>e. The use of aggregate base under exterior flatwork; and,</p> <p>f. Control of irrigation adjacent to the new buildings.</p> <p><i>[Also included as CDP Condition VII. 1]</i></p>					
<p>Impact 3.20 #4. Groundwater: The subsurface conditions reported in the preliminary ENGEO study included relatively shallow groundwater at some locations. Shallow groundwater can cause foundation and pavement problems, and lead to instability of cut and fill slopes. The impacts due to shallow groundwater are, therefore, potentially significant.</p> <p>These potentially significant impacts of the 27 Lot Project and the GDP/VTM Project are no more than with the 35 lot project, and the mitigation will still reduce the impacts to less than significant.</p>	<p>Mitigation Measure 3.20 #4: The ENGEO report provides recommended measures for mitigating the effects of shallow groundwater on the project improvements. The following protective measures shall be implemented during the design and construction phase of the project and are to be documented by the project geotechnical engineer:</p> <p>a. Construction of subdrains in keyways, swales to be filled, overexcavation areas and at the toe of cut slopes;</p> <p>b. Construction of subdrains for reconstructed landslide areas and geogrid reinforced fill slopes; and</p> <p>c. Presoaking slab subgrade area.</p> <p><i>[Included also as CDP Condition IV.3]</i></p>	Town of Moraga shall review and approve the grading plans and monitor construction for compliance.	Town Engineer and Town geotechnical consultant.	Prior to approval of final grading plan, and during the construction.		155

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<p>Impact 3.20 #5a. Landslides: A total of 44 landslides have been mapped on the subject property by ENGEO, with an additional 4 landslides mapped on the west side of Rheem valley which extend below Rheem Boulevard onto the property. A number of these slides are mapped in the area of planned new lots and roads. Therefore, the impacts due to existing landslides on the proposed development are potentially significant.</p> <p>In the 27 Lot Project, no new slopes will exceed 3:1. Debris benches to mitigate for existing hillside surface slides will be relocated to outside the lots along "D" Drive per the direction of Town staff and Planning Commission. . New engineered slopes in the GDP/VTM Project will not exceed 2:1</p> <p>At the Project Sponsor's request, the mitigation also includes the formation of a Geologic Hazard Abatement District (GHAD) by the Town of Moraga, to be funded by the property owners within the project through district assessments, with initial funding by the Project Sponsor. The GHAD will have its own district engineer, among other professional consultants, and be responsible for management, monitoring and maintenance tasks: (i) geotechnical stability and erosion control; (ii) stormwater control and water quality basins; (iii) open space grazing, fire control, trails and EVA; and (iv) intermittent drainage, wetlands, and other biological resources. Land and soil instability that affects streets and homes is often attributable to poor maintenance and not undertaking protective measures that would avoid that condition. A professionally managed and well financed GHAD that is subject to the review and direction of the Town Council will avoid that situation.</p>	<p>Mitigation Measure 3.20 #5a: The ENGEO report recommends that landslide mitigation methods such as providing setbacks from the slides using debris benches up to 50 feet wide, removal and replacement of slide material and buttressing be used to mitigate the impact of existing landslides on the planned development. The mitigation measures identified by ENGEO shall be implemented.</p> <p>The Project Sponsor shall request and the Town Council shall form a Geologic Hazard Abatement District (GHAD) (or other Town designated entity), to be funded in perpetuity by the property owners within the project through district assessments, with initial funding by the Project Sponsor</p> <p>The GHAD will own the open space parcel and have its own district engineer and other qualified professional consultants, including a qualified ecologist/biologist. The GHAD shall be responsible for the following management, monitoring and maintenance tasks: (i) geotechnical stability and erosion control,; (ii) stormwater control and water quality basins; (iii) open space grazing, fire protection and control, trails and EVA; and (iv) intermittent drainage, seasonal wetlands, seeps and biological resources.</p> <p>Those obligations shall include compliance with the final (i) Geotechnical Plan of Control, (ii) Drainage Plan, (iii)</p>	<p>Prior to approval of final grading plan and subdivision improvement plans, Town of Moraga shall review plans for compliance.</p> <p>Town Council shall be responsible to approve and form the project GHAD, including the Geotechnical Plan of Control and thereafter, with assistance from the Town Engineer and Planning Department, monitor, direct and control GHAD actions, including the adequacy of funding initially from the Project Sponsor and later by project homeowners. The formation documents shall be submitted by the Project Sponsor.</p>	<p>Town Engineer and Town geotechnical consultant for review of plans.</p> <p>Town Council for GHAD formation.</p> <p>Planning Department, Town Engineer, and Town Council for GHAD monitoring.</p>	<p>Prior to approval of Precise Development Plan, and prior to approval of individual lot foundation plans and subdivision improvement plans.</p> <p>GHAD monitoring is ongoing.</p>		<p>152 153 155 92 93 94 95 96</p>

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<p>Through construction and post-construction professional management, and peer review by the Town's geotechnical engineers, geotechnical risks will be controlled and minimized consistent with best management practices.</p> <p>These potentially significant impacts of the 27 Lot Project and the GDP/VTM Project are less than with the 35 lot project, and the mitigation will still reduce the impacts to less than significant.</p>	<p>Open Space Management Plan, (iv) Public Trail System Plan, (v) Fire Protection Plan, (vi) Wetland/Special-Status Species Plan, (vii) Rheem Valley Revegetation Plan, and (viii) Conservation Easement (or other appropriate deed restriction), which are more fully described in other mitigation measures.</p> <p>The actions of the GHAD in meeting its responsibilities, including the adequacy of permanent funding from the Project Sponsor and project homeowners, shall be subject to Town review, direction and control. All Town costs shall be paid by the GHAD. [Also included as CDP Condition II.1]</p>					
<p>Impact 3.20 #5b. Landslides (Rheem Boulevard): Rheem Boulevard is geotechnically unstable along the project site frontage due to landslides and unstable soil under the street and on the hillside above it. That instability specifically affects the 35 lot project because it impacts proposed project access and homes and indirectly affects it because this arterial will be utilized by project homeowners. Rheem Boulevard at the "A" Way intersection section will be stabilized by slope stabilization and geogrid reinforcement. It is an area of low risk for movement. Rheem Boulevard north of "A" Way includes unstable areas of high risk for landslide movement and therefore requires more extensive stabilization measures.</p> <p>Of the three methods analyzed for stabilizing Rheem Boulevard above "A" Way, the valley buttress fill concept is included in the 35 lot project design. A comparable buttress would be</p>	<p>Mitigation Measure 3.20 #5b: Rheem Boulevard on the upper valley frontage shall be stabilized with the valley buttress,; and the lower valley high risk area (680 lf) will be stabilized with a reinforced geogrid buttress fill consistent with GDP/VTM Condition of Approval No. 252. The street will be repaired and repaved consistent with this Condition.</p> <p>Improvement plans for the stabilization of Rheem Boulevard shall be reviewed and approved by the Town Engineer and Town geotechnical consultant and its construction monitored. [Also included as CDP Condition V.16]</p>	<p>Town officials shall actively participate as a co-applicant to secure the Section 404 and other resource agency permits.</p> <p>The Town Engineer and Town geotechnical consultant shall review and approve improvement plans for compliance with mitigation measures.</p>	<p>Town Engineer, Planning Director, Project Planner, Town Attorney and Town Manager for resource agency permits.</p> <p>Town Engineer for determination of resource agency permits feasibility and alternative nexus fee.</p> <p>Town Engineer and Town geotechnical consultant</p>	<p>Prior to approval of Precise Development Plan, and thereafter approval of improvement plans.</p>		252

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<p>required in order to develop "D" Drive and its 14 lots, including fill in the jurisdictional wetlands. The below grade retaining wall/tie back system and the keyway buttress methods of repair were not included in the project design by the Project Sponsor because buttress fill in the upper and lower valleys would still be needed to construct "D" Drive and the 14 lots. Thus, utilizing either of these two methods above "A" Way would be redundant for the 35 lot project.</p> <p>ENGEO's proposed valley buttress fill method was reviewed and accepted by the Town geotechnical engineers. The Rheem Boulevard landslides were analyzed with the buttress fill in place and its factor of safety was found to be the best of the three methods, as discussed in the ENGEO report. The stabilizing engineered fill will be designed to control development of longitudinal cracking resulting from soil creep associated with the existing buttress fill. Remedial subgrade work and installation of a new structural pavement section would then be performed.</p> <p>The 27 Lot Project includes the same engineered slope and geogrid measures to stabilize Rheem Boulevard in the "A" Way location as the 35 lot project. It also includes both an upper and lower valley buttress. The dual purpose of the upper valley buttress is to stabilize Rheem Boulevard and allow for the construction of shortened "D" Drive and its 6 lots. Unlike the 35 lot project, instability along Rheem Boulevard in the intervening section between "A" Way and shortened "D" Drive and its 6 lots in the upper Rheem Valley is not a geotechnical risk that must be corrected in order to develop the recommended project, because no development is proposed along that</p>			for final improvement plans and monitoring construction.			

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<p>frontage.</p> <p>Thus, development of a 27 Lot Project with shortened "D" Drive requires, as its mitigation for the Rheem Boulevard instability impact, requires only that the Project Sponsor stabilize Rheem Boulevard at "A" Way and in the upper valley for "D" Drive and its 6 lots, and pay its fair share of the costs to stabilize the intervening section. That mitigation share would be based on a nexus formula similar to traffic circulation impact fees.</p> <p>Stabilization of Rheem Boulevard is an unfunded Town capital improvement project. A landslide on Rheem Boulevard is a distinct possibility and could force the long term closure of the major arterial to through traffic. If the Town is responsible for the stabilization of Rheem Boulevard above "A" Way and in the lower Rheem valley section, the buried retaining wall method is preferred by the Town Engineer, because it would not involve filling the intermittent drainage along that entire section, making the Section 404 permitting process less onerous, and Rheem Boulevard should remain open, subject only to intermittent closures on one side. The keyway buttress within Rheem Boulevard is not an acceptable method of repair to the Town Engineer, because it runs the risk of triggering an uphill landslide and also will require the extended closure of Rheem Boulevard.</p> <p>The Town does not have the funds to construct a capital improvement project to stabilize, repair and repave all or a portion of intervening 1070 lineal feet of lower Rheem Boulevard (approximately \$3 million). The Town Engineer considers remote the prospect to secure outside</p>						

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<p>funding to stabilize all or any portion of Rheem Boulevard. Thus, including the lower valley buttress as part of the 27 Lot Project design is the method of repair preferred by the Town Engineer, recommended by Town staff, and directed by the Planning Commission to be included as part of the 27 Lot Project.</p> <p>The Town and Project Sponsor will be co-applicants for and work diligently together to secure the Section 404 and other resource agency permits necessary to construct the valley buttresses; the Town will be responsible for its own costs in processing that application (e.g., Town staff, attorney and consultant costs); and the lower valley buttress where the intermittent drainage is located need not be included in the Precise Development Plan project design if, during the course of that application process, the Town Engineer makes the determination that prospects are unlikely for its approval within a reasonable time and with feasible conditions. The mitigation measure includes the foregoing provisions.</p> <p>Stabilization of Rheem Boulevard by the Project Sponsor at "A" Way by slope repair and geogrid reinforcement, and at "D" Drive by the upper valley buttress, mitigates the 27 Lot Project landslide impact in those two locations to less than significant. Construction of the lower valley buttress as part of the project development in order to stabilize Rheem Boulevard is more than the Project Sponsor's fair share contribution and represents an additional public benefit of the project.</p> <p>This potentially significant impact of the 27 Lot Project is less than with the 35 lot project because no development is proposed in the</p>						

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lower Rheem valley between "A" Way and the shortened "D" Drive, and the mitigation still fully stabilizes Rheem Boulevard which will reduce the impact to less than significant.						
<p>Impact 3.20 #6. Soil Creep: Local areas of near surface clayey soils encountered at the site in the ENGEO study may be undergoing soil creep on the moderately inclined slopes found at the site. Creeping soils on slopes at the site present potentially significant impacts.</p> <p>These potentially significant impacts of the 27 Lot Project and GDP/VTM Project are no more than with the 35 lot project, and the mitigation will still reduce the impacts to less than significant.</p>	<p>Mitigation Measure 3.20 #6: The ENGEO report recommends that within proposed fill areas, soils subject to creep are to be removed prior to fill placement. Alternately, improvements should be set back from potential creep zones, or below grade retaining walls and deepened foundations could be used to minimize potential creep impacts. These measures, or other appropriate measures as recommended by the geotechnical engineer and subject to the review and approval by the Town Engineer, shall be incorporated onto the foundation and site improvement plans and shall be verified and tested by the project geotechnical consultant.</p> <p><i>[Also included as CDP Condition VIII.3]</i></p>	Prior to approval of the individual lot foundation plans and subdivision improvement plans, Town Engineer and Town geotechnical consultant shall review plans for compliance.	Town Engineer and Town geotechnical consultant.	Prior to approval of individual lot foundation plans, final improvement plans, and ongoing during construction.		<p>155</p> <p>200</p>
<p>Impact 3.20 #7. Erosion: The potential for erosion of the clayey surface soils on the project site is moderate to high. Erodible soils at the site present potentially significant impacts.</p> <p>These potentially significant impacts of the 27 Lot Project are no more than with the 35 lot project, and the mitigation will still reduce the impacts to less than significant.</p>	<p>Mitigation Measure 3.20 #7: The impacts from erosion can be mitigated by incorporating appropriate grading and drainage measures into the project design. The final grading plan (and the final Drainage Plan described below in Mitigation Measure 3.30 #3) shall provide for positive drainage on building pads and removal of water from foundation areas into area drains and closed pipe systems connected to a suitable drainage facility. The pads should be drained individually so that flow does not move from lot to lot. Slopes should be graded so that water is</p>	Prior to approval of the final grading plan, Drainage Plan, individual lot foundation plans and subdivision improvement plans, the Town Engineer and Town geotechnical consultant shall review plans for compliance.	Town Engineer and Town geotechnical consultant.	Prior to approval of final improvement plans and individual lot plans.		<p>213</p> <p>217</p> <p>218</p>

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	<p>directed away from the slope face.</p> <p>Permanent slopes should be protected against erosion through the use of erosion resistant vegetation and jute netting. Temporary erosion control measures such as positive gradients away from slopes, straw bales, silt fences and swales should be used during construction. The implementation of drainage control, and temporary and permanent erosion control measures will result in a less than significant hazard of erosion. <i>[Also included as CDP Condition IV.4]</i></p>					
<p>Impact 3.20 #8. Cuts and Fills: The preliminary grading plan for the 35 lot project indicates finished slopes are to be 3:1 over most of the planned development with 2:1 (horizontal:vertical) fill slopes shown for the area below Lots 15 - 18 and Lots 24 and 25. These slopes are steeper than that stated in the Town of Moraga's Design Guidelines: "Neither cuts nor fills shall result in slopes steeper than 3:1 except where natural slopes are greater."</p> <p>ENGEO recommends that cut slopes and fill slopes 10 feet or greater in height be no steeper than 3:1, and that cut and fill slopes less than 10 feet high be no steeper than 2:1. Special mitigation measures, supported by the findings of additional slope stability analyses, would be required to demonstrate that the slopes shown on the preliminary grading plan meet the Town's minimum factor of safety requirements.</p> <p>In the 27 Lot Project all cut and fill slopes are no more than 3:1. The lots on the Southern Plateau where 2:1 slopes were modified to 3:1 in the 27 Lot Project are Lots 7-10 and 16-17.</p>	<p>Mitigation Measure 3.20 #8: the project grading plans shall be reconfigured to have finished slope no greater than 3:1, or additional slope analysis shall be prepared by the Project Sponsor demonstrating that steeper slopes are feasible. The following performance standards for increasing slope gradients shall be developed that identify techniques such as:</p> <ul style="list-style-type: none"> • the use of geogrid reinforcement; • utilization of only granular materials in engineered fills; and, • provisions for drainage benches on the fill slopes. <p>As recommended in ENGEO's report, subdrains will likely be required at the toe of cut slopes, keyways and swales to intercept shallow groundwater seepage.</p> <p>2:1 engineered slopes are allowed as</p>	N/A	N/A	N/A		<p>203</p> <p>204</p> <p>205</p>

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<p>Therefore, this impact of the 27 Lot Project as designed is less than significant and Mitigation Measure 3.20 #8 for the 35 lot project is not necessary for the 27 Lot Project. The 27-lot project has been modified in the General Development Plan application to include 2:1 slopes. Accordingly, Mitigation Measure 3.20 #8 is required to mitigate potential impacts from cutting and filling. An exception has been granted for that new slope standard.</p>	<p>shown on the GDP/VTM Project plan sheets. ENGEIO shall show in the final grading plans that slopes would be stable as discussed above. An exception to the Town's Design Guidelines is provided in order to limit the extent of grading. The mitigated design consistent with the mitigation measures that allow for screening of these fills and slopes shall be developed.</p>					
<p>Impact 3.20 #9. Building Pads: In the 35 lot project, fills up to 40 feet deep will be placed in several swales to create level building pads and some building pads will be founded in both cut and fill. The impacts associated with building pads resting on deep fill and compound (cut and fill) lot pads include differential settlement resulting from fill settlement caused by the weight of the fill, particularly in deep swales where the greatest settlement occurs in the center of the swale, and where foundation support crosses the "daylight line" from cut to fill. Additionally, wetting induced collapse resulting from drainage, runoff and direct infiltration of precipitation into the fill can cause engineered fill to settle following construction.</p> <p>Eliminating development from the lower Rheem valley in the 27 Lot Project reduces the highest fill to create building pads from 40 feet to no more than 30 feet in the upper valley area for Lot 1 and averaging less than 20 feet for all 6 lots. This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is less with the 35 lot project and the mitigation will still reduce it to less than significant.</p>	<p>Mitigation Measure 3.20 #9: The ENGEIO report recommends that deep fills be placed at a higher relative compaction and that the fill be moisture conditioned to above optimum moisture as determined from future design-level geotechnical testing and analysis. The placement of residence foundations on cut and fill building pads should utilize methods that will minimize differential settlements as determined by further study. Techniques that can be used to mitigate differential settlement on compound lots include such measures as overcutting and replacing the cut portion with an engineered fill cushion and the use of a rigid type foundation such as drilled pier and grade beam or structural slab. These measures shall be implemented during the design and construction phase.</p> <p><i>[Also included as CDP Condition V.2]</i></p>	<p>Prior to approval of subdivision improvement plans and individual lot foundation plans, the Town Engineer, Town geotechnical consultant and Building Inspection Services shall review plans for compliance.</p>	<p>Town Engineer, Town geotechnical consultant and Building Inspection Services.</p>	<p>Review of subdivision improvement plans and individual lot foundations.</p>		<p>160 201</p>

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<p>Impact 3.20 #10. Foundations: Based on data collected during ENGEO's preliminary investigation, it is their opinion that the site is suitable for the proposed residential construction from a geotechnical engineering standpoint. ENGEO recommends that a drilled pier and grade beam system, which obtains support in stiff native soils and bedrock below expansive upper soils, be used for support of the new structures. As an alternative, the report recommends a structural mat (conventional or post-tensioned) system.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.20 #10: The new residential construction and any other site improvements need to:</p> <ol style="list-style-type: none"> a. Comply with the provisions of Title 24 of the California Administrative Code, and the most recent edition of the Uniform Building Code, Seismic Zone 4 standards, or local seismic requirements, whichever is most stringent. b. Meet all of the recommendations included in the August 8, 2002 ENGEO preliminary soil investigation report including: <ol style="list-style-type: none"> 1. Review of all plans and specifications including observation of foundation excavations; and, 2. Observation and testing of engineered fill, finish subgrade and aggregate base. <p><i>Also included as CDP Condition V.3</i></p>	<p>Prior to approval of the subdivision grading plans, and ongoing during construction, Town Engineer, Town geotechnical consultant and Building Inspection Services shall confirm all mitigation measures have been included on the plans.</p>	<p>Town Engineer, Town geotechnical consultant and Building Inspection Services.</p>	<p>Prior to approval of final grading plan, and individual lot foundations, and ongoing during construction.</p>		<p>154 202</p>
3.25 HAZARDS AND HAZARDOUS MATERIALS						
<p>Impact 3.25 #2. Construction-Related Hazardous Materials: There is the potential for accidental release of oil, gasoline or diesel during construction. This is a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation</p>	<p>Mitigation Measure 3.25 #2: The Project Sponsor shall comply with all Federal, State and local laws regarding use of hazardous materials at construction sites. The Project Sponsor shall comply with the Town of Moraga code provisions relating to the methods for reducing the potential for fuel spills during construction. <i>[Also included as CDP Condition IV.5]</i></p>	<p>Prior to approval of the subdivision grading plans and ongoing during construction, Town Engineer shall confirm compliance with all mitigation measures.</p>	<p>Town Engineer.</p>	<p>Prior to approval of final grading plan, and ongoing during construction.</p>		<p>41</p>

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will still reduce the impact to less than significant.				on.		
3.30 HYDROLOGY, DRAINAGE AND WATER QUALITY						
<p>Impact 3.30. #1 Storm Drainage: The runoff from the 35 building pads will be collected to at least four separate drainage systems (Figure 3.30-1). Three enter the Rheem Boulevard drainage from the access roads "A" Way and "D" Drive; the fourth enters the steep northeast ravine of a Las Trampas Creek tributary. The existing Rheem Boulevard drainage adjacent to "D" Drive is to be re-created under criteria for a stable fluvial system. Flows must pass under "D" Drive, "A" Way and the existing private culvert in the Rheem Glen subdivision. Post development peak flow rates, if unmitigated, could increase more than 20 percent.</p> <p>With the 27 Lot Project and the GDP/VTM Project, there will be less impervious surface than with the 35 lot project and, therefore, the potentially significant storm drainage impact will be reduced. Water quality basins have been located and dimensions provided. The "A" Way arch culvert crossing of the intermittent drainage has been removed in the 27 Lot Project with the elimination of "A" Way. Water from the recreated wetland swale will be piped under "D" Drive to the intermittent drainage below, which is largely preserved by elimination of the valley buttress there and its replacement with a geogrid reinforced buttress fill that stays out of the creek (see Condition 250). In the GDP Project stormwater/water quality basins will retain storm water flows from impervious surfaces. The mitigation standard with respect to discharge of storm event peak flow off site is</p>	<p>Mitigation Measure 3.30 #1a: Estimated increases in peak flows due to development can be reduced to the existing peaks with properly designed settling/detention basins similar to the proposed "Conceptual Master Drainage Plan and Report, (ENGEO, 4/14/06), or the "Extended Detention Basins," TC5, contained in the California Storm Water, Best Management Practice Municipal Handbook. Typical design will retain the runoff from common storms (1"± /12 hr) for a 40 hour settling time and detain the additional development runoff discharged from the larger 2-year through 100-year average recurrence storms sufficiently to reduce the peak flows to reduce the peak flows to pre-existing conditions.</p> <p>For the approved 27 Lot Project the water quality facilities are shown as water quality basins on Sheet 1 of the "27 Lot Preliminary Grading Plan for Rheem Blvd. Visual Quality Mitigation" dated January, 2009. Detention shall be provided through oversized stormwater detention/ water quality basins.</p> <p>In order to determine whether or not there will be a net increase to off-site peak flows and volumes for the GDP/VTM Project, an Expanded Master Drainage Plan (Drainage Plan) shall be prepared based upon the Precise Development Plan</p>	<p>Prior to approval of the Precise Development Plan, Town Engineer shall verify compliance with CFCD and RWQCB permits, and review and approve the final Drainage Plan.</p> <p>During construction, Project Sponsor contractor shall be responsible for compliance with, or implementation of, all measures, providing the Town Engineer with monthly compliance reports.</p>	Town Engineer.	Prior to approval of Precise Development Plan, improvement plans, and ongoing during construction.		<p style="text-align: center;">115</p> <p style="text-align: center;">120</p> <p style="text-align: center;">138</p>

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<p>to limit it to pre-project conditions. The Project Sponsor has offered to reduce post development peak flow rates in the 10 through 100-year average recurrence storm events to less than the current conditions, to the extent feasible, as a benefit to the downstream homeowners on Rheem Boulevard. For smaller storms peak flow discharge off site will be no greater than existing conditions.</p> <p>This potentially significant impact of the 27 Lot Project is less than with the 35 lot project because it includes less impervious surface and, if feasible, more detention capacity during large storm events than the preexisting condition, and the mitigation will still reduce the impact to less than significant.</p>	<p>(which shall specifically identify all impervious surfaces, define the collection system, detention cells and outlets, and detail all BMPs). The Drainage Plan shall comply with the following Performance Standards:</p> <ol style="list-style-type: none"> a. Provide parallel hydrologic and hydraulic analyses and calculations of Existing pre-development and of Proposed post-development runoff flows and volumes from all tributary areas accounting for all changes in runoff characteristics and drainage area; b. Clearly identify differences between Existing and Proposed conditions by providing at identical or equivalent geographic points in the watersheds directly comparable tables of runoff analysis, tabulation of characteristics, and drainage maps; c. Demonstrate that the detention and BMP facilities have the required capacity and can be constructed at the proposed sites without exceeding grading, landscape and other project criteria; d. Show that any uncontrolled overflow of the facilities due to blockage or other malfunction will follow an identified flow path to the major channels and will result in no more than nuisance flooding; e. Demonstrate that individual lot grading will direct all drainage from the 					

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	<p>building pads to the street. No overland drainage from the pads or street shall be discharged into the fills or natural slopes;</p> <p>f. Confirm capacity of the existing system and evaluate whether the project's contribution exceeds the capacity of the existing (plus planned) drainage facilities, or contain those contributions in acceptable storm drains or non-erodible open channels;</p> <p>g. Confirm that any increase in the velocity and duration of erosive flows in the natural and recreated drainage ways within the project and downstream of project facilities do not aggravate erosion from storm runoff of 2-, 10- and 100-year average recurrence (50% through 1% annual probability);</p> <p>h. If the project's contribution to the existing peak flows and volumes exceeds capacity of the existing (plus planned) facilities (both on and off site) the Drainage Plan shall identify required drainage enhancements and long term (in perpetuity) finding for these enhancements. Numeric hydrologic modeling for the project will be performed in conformance with the Contra Costa County Flood Control Standards and Contra Costa Clean Water Program (CCCWP) C.3 Hydromodification Requirements. The modeling will verify that final hydrologic mitigation measures reduce 2-, 10- and 100-year average</p>					

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	<p>recurrence flow rates to pre-development levels at points of discharge and do not aggravate erosion in existing downstream channels for smaller flow rates as defined by the CCCWP C.3 Hydromodification standards.</p> <p>These enhancements shall include:</p> <ol style="list-style-type: none"> 1. Either on-site detention facilities which can be demonstrated to preclude any increase in the flows and volumes to pre-project conditions and thereby preclude increased flooding and erosion risks; and/or, 2. Reduce the size of the Project. <i>[Also included as CDP Condition II.2]</i> <p>Mitigation Measure 3.30 #1b: The Project Sponsor shall construct needed drainage improvements both on site and off site that meet the Performance Standards set forth in Mitigation Measure 3.30 #1a. The Drainage Plan and final improvement plans for the GDP/VTM Project Project shall be consistent with these standards. <i>[Also included as CDP Condition II.3]</i></p>					
<p>Impact 3.30 #2. Groundwater Recharge: Groundwater recharge, which supports the flow at the springs and seeps within and downslope of the project site, is contributed to by rainfall infiltration into the exposed and near surface bedrock outcrops along the ridge crests. The proposed development will decrease recharge by capping these areas with roads, structures and fills. Conversely, the development may increase the recharge due to deep lawn</p>	<p>Mitigation Measure 3.30 #2: As part of the final Drainage Plan reviewed and approved by the Town Engineer, the Project Sponsor shall demonstrate that the existing springs and seeps are not dependent on the recharge from the developed area. However, if found to be dependent, a supplemental water supply shall be provided, possibly necessitating further environmental analysis and</p>	<p>Prior to approval of Precise Development Plan, Town Engineer shall review and approve the final Drainage Plan, and thereafter confirm compliance with the Drainage Plan in the final improvement plans.</p>	<p>Town Engineer.</p>	<p>With Precise Development Plan and final improvement plans approval, and monitoring</p>		<p>117</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>irrigation. The grading, as proposed, in the 27 Lot Project and the GDP/VTM Project will not divert existing drainage into the Coyote Creek watershed, unlike the 35 Lot Project.</p> <p>Small, undetectable leakage from the EBMUD Fay Hill Reservoir located on the high point of the ridge crest to the west could account for nearly all current recharge.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project likely is less than with the 35 lot project because it includes less impervious surface, and the mitigation will still reduce the impact to less than significant.</p>	<p>review by the Town of Moraga.</p> <p><i>[Also included as Condition II.5]</i></p>			during construction.		
<p>Impact 3.30 #3. Water Quality: Decreases in water quality are primarily attributable to:</p> <ul style="list-style-type: none"> a. Roadways; b. Erosion (both short and long term); c. Urban related pollutant contribution such as daily runoff and lawn irrigation from excess lawn fertilization; d. Increased population; and, e. Grazing. <p>Water quality impacts are both short term, associated with project construction, and long term, associated with daily runoff. Lawn irrigation may also introduce pollutants from excess lawn fertilization. On-site grading is a significant contributor to the existing erosion along the drainages and seeps. The final Drainage Plan will address water quality impacts of the GDP/VTM Project.</p>	<p>Mitigation Measure 3.30 #3: The final Drainage Plan shall identify appropriate BMPs for erosion and siltation control and be approved by the Town Engineer. A “Notice of Intent” shall be prepared which conforms to the RWQCB’s general permit for storm water discharge under the National Pollutant Discharge Elimination System, including Provision C3, and Storm Water Pollution Prevention Plan. The following performance standards shall be met:</p> <ul style="list-style-type: none"> a. During project construction, all exposed soil and other fill shall be permanently stabilized at the earliest practicable date; b. All drainages shall be fenced to preclude grazing animals from entering into the drainages and exacerbating erosion; c. Suitable storm drainage control 	Prior to approval of final improvement plans, Town Engineer shall review and approve the final Drainage Plan, and RWQCB shall provide a water quality certification.	Town Engineer and RWQCB.	Prior to approval of final improvement plans.		<p>137</p> <p>215</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is less than with the 35 lot project because it includes less impervious surface, and the mitigation will still reduce the impact to less than significant.</p>	<p>system and permanent landscaping shall be provided as part of the construction and ongoing operation of the project. If runoff is widely dispersed on the existing grasslands, potential pollutants common to a development of this size may be absorbed before reaching an active stream;</p> <p>d. The project shall include recharge-contaminant interceptors (grease interceptors and storm drain filtration) as part of the SWPPP;</p> <p>e. The Drainage Plan shall be prepared by a registered Civil Engineer (or other licensed professional acceptable to the Town) and reviewed and approved by the Town Engineer, and it shall include, as a minimum, the following provisions that must be adhered to post construction:</p> <ol style="list-style-type: none"> 1. The Project Sponsor shall prepare a pavement cleaning and maintenance program, which shall, at a minimum, consist of regular street cleaning and asphalt maintenance program for all on-site roads and parking areas. 2. The Project Sponsor shall prepare a three-part program designed to limit direct disposal of contaminants into streets and storm drains that shall be monitored and maintained, in perpetuity by the HOA: 					

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	<ul style="list-style-type: none"> • labeling all catch basins - “No Dumping - Drains to Creek”; • strictly limiting the use of non-biodegradable fertilizers or pesticides; and, • prohibiting the regular washing or maintenance of vehicles in paved areas that drain directly into the storm drain system. <p><i>[Also included as CDP Condition V.4]</i></p>					

3.35 VISUAL QUALITY, PARKS, RECREATION AND OPEN SPACE

<p>Impact 3.35 #1. Change in Community Character: The preliminary grading plan for the 35 lot project in the Draft EIR indicates finished slopes of generally 3:1 (horizontal:vertical) over most of the planned development with the exception of limited locations at the southern end of “C” and “B” Court where slopes are steeper at 2:1. The Town of Moraga’s Design Guidelines states: <i>“Neither cut nor fills shall result in slopes steeper than 3:1.”</i> Maps submitted pertaining to “Proposed BMPs and Drainage System” indicate drainage sub basins located in two locations along “D” Drive (SW1B and SW2B), one along Rheem Boulevard west of “A” Way ((SW3B) one along “B” Court at “A” Way (SW3A) and one at the eastern end of “C” Court (SW 4B). Significant grading will be needed to accommodate the basins, particularly SW3A and SW4B.</p> <p>As described above under Impact 3.20, the GDP/VTM Project has 2:1 cut and fill slopes. However, the finished grades will be similar in slope and will blend with the natural contours.</p>	<p>Mitigation Measure 3.35 #1: The BMP water quality/detention basin for the approved 27 Lot Project that are located in the valley area along Rheem Boulevard shall include low lying landscape that is consistent with the open views of the mitigated landscape plan for the project. The tops of the BMP water quality basins shall be open and accessible for maintenance with sufficient area available for one-way vehicular movement around the facility. The open section of the water quality/detention basin shall be attractively landscaped with plant material appropriate for bioremediation purposes.</p> <p>Project Sponsor shall also comply with Mitigation Measures 3.35 #2, #3 and #4 to reduce the change in visual character of the project site to less than significant for the 27 Lot Project, as viewed from all public locations including Rheem Boulevard.</p> <p><i>[Also included as CDP Condition III.3]</i></p>	<p>A final landscape plan will be reviewed and approved by Planning Commission as part of Precise Development Plan, with input from Design Review Board.</p> <p>Prior to approval of final grading plan and landscape plan for construction, Town Engineer and Planning Director shall confirm compliance with the mitigation measures.</p>	<p>Planning Commission, Design Review Board, Planning Director, and Town Engineer.</p>	<p>Prior to approval of Precise Development Plan, and prior to final grading plan and landscape plan for construction.</p>		<p>9.g</p>
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Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>Further Mitigation Measures 3.35 #2, #3 and #4 will require screening with native plantings that will ensure that graded slopes visually blend with the natural ungraded topography. The water quality/detention basins have been relocated and redesigned. Therefore, this potentially significant impact is removed with the design changes in the GDP/VTM Project grading and landscape plans.</p> <p>Development of the project site will occur in phases, with the first phase consisting of rough grading of the entire site, site preparation, re-contouring for drainage, roadways, lots and pads, likely in one grading season; and the second phase will consist of minor finish grading on the lots and construction of 27 homes. With the 35 lot project described in the Draft EIR, a portion of the site would be irreversibly altered from its current undeveloped character to a rural-residential site with the majority of natural vegetation intact. The Draft EIR did not identify sufficient mitigation to reduce this change in community character impact to less than significant.</p> <p>Visual quality impacts of the 35 lot project are addressed in detail in Response 3 of the Responses to Comments. It details the factors to be considered in determining whether the threshold of significance, as informed by the General Plan, has been exceeded. Subsequent to publication of the DEIR, the Project Sponsor has provided additional mitigation to reduce visual quality impacts of development areas (including a change in site characteristics). Response 3 confirms implementing the Project Sponsor's proposed visual quality mitigation measures in the final landscape plan will reduce to less than significant the visual quality</p>						

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<p>impacts of project development (including the change in character of the project site), as seen from all seven public views except for views from Rheem Boulevard. Mitigation Measure 3.35 #2 includes those landscape design modifications.</p> <p>Response 3 concludes the change in character along Rheem Boulevard remains significant and unavoidable. Response 3 reconfirms the project development areas are not visible from any other public views.</p> <p>As described below under Impact 3.35 # 3 and 4, requiring the project to be redesigned to 27 lots consistent with the Rheem Boulevard Visual Quality Mitigation Exhibits, as required in Mitigation Measure # 4, will reduce all project visual quality impacts as seen from Rheem Boulevard to less than significant, including the change in community character of the project site. Those landscape design modifications have been included in the preliminary landscape plan for the 27 Lot Project.</p> <p>This potentially significant visual quality impact of the 27 Lot Project and the GDP/VTM Project is less than with the 35 lot project based on the mitigated design, and the mitigation will reduce the impact to less than significant.</p>						
<p>Impact 3.35 #2. Ridgeline Development: Development of the 35 lot project described in the Draft EIR would irreversibly alter the ridgeline character of the project site. The Draft EIR did not identify sufficient mitigation to reduce this ridgeline development impact to less than significant.</p> <p>As described above in Impact 3.35 #2,</p>	<p>Mitigation Measure 3.35 #2: All of the project components shall incorporate street configuration sensitive to the natural topography.</p> <p>Landscape buffering and screening for the 'D' Drive development shall be with broadleaf deciduous and conifer trees and shrubs planted so as to replicate the</p>	<p>A final landscape plan will be reviewed and approved by Planning Commission as part of Precise Development Plan, with input from Design Review Board. It must comply with the mitigation measures.</p>	<p>Planning Commission, Design Review Board, Planning Director, and Town Engineer.</p>	<p>Prior to approval of Precise Development Plan, and final</p>		<p>9.a</p> <p>9.d</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>subsequent to publication of the DEIR the Project Sponsor has provided additional visual quality mitigation. Response 3 confirms that mitigation will reduce the impacts on ridgeline character of the project site to less than significant, as seen from all public views except Rheem Boulevard.</p> <p>Mitigation Measure 3.35 #2 includes the mitigation proposed by the Project Sponsor and reviewed in Response 3. That mitigation has been included in the preliminary landscape plan for the 27 Lot Project. However, the project impact on ridgeline views from Rheem Boulevard remains significant without additional mitigation.</p> <p>The 27 Lot Project redesign in the upper and lower Rheem valleys, described below in Impacts 3.35 # 3 and 4, Mitigation Measure 3.35 #4 and the Rheem Boulevard Visual Quality Mitigation Exhibits described therein, address not only project impacts on valley views as seen from Rheem Boulevard (a scenic road); they also further reduce visual quality impacts of the project on ridgeline views, as seen from that scenic road, to less than significant.</p> <p>New project landscape in the upper and lower Rheem valleys has been located and species selected so as not to obstruct views of the upper hillsides and ridgelines as seen by those traveling along that scenic road, unlike the revised landscaping proposed by the Project Sponsor for the 35 lot project in Response 3. Also, pad elevations in the southern plateau are lower for the recommended project than in the 35 lot project.</p> <p>This potentially significant impact of the 27 Lot</p>	<p>natural vegetation groupings on site</p> <p>Landscaping in the southern plateau neighborhood along 'E' Street and 'C' and 'B' Court shall not include trees that will mature to a height that exceed the height of the homes such that the trees protrude above and alter the skyline from public views of concern, in particular Rheem Boulevard. Landscape on open space hillsides is to be avoided. The visual impact mitigation measures for particular public view points described below shall comply with this standard. The intent of this condition herein is to maintain open hillsides and to keep landscape on and around the streets and homes on the southern plateau low enough in height so as not to protrude above the skyline from, for example, Rheem Blvd.</p> <p>These details in the final landscape design shall be provided with the Precise Development Plan and approved by the Planning Commission with input from the Design Review Commission.</p> <p><u>Joseph Drive</u></p> <p>The landscape in the southern plateau shall include native evergreen and deciduous trees and shrubs to compliment the existing oak woodland elsewhere on the hillside. Trees species shall not be of such a height that they protrude above the skyline from public views of concern.</p> <p>Applicant shall comply with Mitigation Measure 3.35 #4 (CDP Condition III.4), with respect to maintaining open valley,</p>	<p>Prior to approval of final grading plan and landscape plan for construction, the Town Engineer and Planning Director shall confirm compliance with the mitigation measures.</p>		<p>grading plan and landscape plan before construction.</p>		<p>9.e</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>Project and the GDP/VTM Project on ridgeline visual character is less than with the 35 lot project based on the mitigated design, and the mitigation measures will reduce the visual quality impact to less than significant for all public views of the project site and its development areas.</p>	<p>hillside and ridgeline views. With the elimination of the lower valley buttress and 'A' Way, and the modifications to the southern plateau development area so that none of the homes there will be visible from Rheem Boulevard, landscape mitigation for visual quality have been substantially reduced, limited to the 'D' Drive area. Lots 1-6, 26 and 27 on 'D' Drive must still be single story in order to maintain open hillside views</p> <p><u>Rheem Boulevard</u></p> <p>Applicant shall comply with Mitigation Measure 3.35 #4 (CDP Condition III.4), with respect to maintaining open valley, hillside and ridgeline views. With the elimination of the lower valley buttress and 'A' Way, and the modifications to the southern plateau development area so that none of the homes there will be visible from Rheem Boulevard, landscape mitigation for visual quality have been substantially reduced, limited to the 'D' Drive area. Lots 1-6 26 and 27 on 'D' Drive must still be single story, in order to maintain open hillside views</p> <p><u>St. Mary's Road</u></p> <p>No open space landscape on the southern plateau development area is required to address this viewpoint, as a result of changes in the Project through the CDP Sheets dated December 16, 2010. Any native evergreen and deciduous trees planted within the southern plateau neighborhood shall be species of such a height that they do not protrude above the skyline from public views of concern.</p>					

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	<p><u>Birchwood Drive</u></p> <p>No open space landscape on the southern plateau development area is required to address this viewpoint, as a result of changes in the Project through the CDP Sheets dated December 16, 2010. Any native evergreen and deciduous trees planted within the southern plateau neighborhood shall be species of such a height that they do not protrude above the skyline from public views of concern.</p> <p>.</p> <p><u>Rohrer Drive</u></p> <p>No open space landscape on the southern plateau development area is required to address this viewpoint, as a result of changes in the Project through the CDP Sheets dated December 16, 2010. Any native evergreen and deciduous trees planted within the southern plateau neighborhood shall be species of such a height that they do not protrude above the skyline from public views of concern. Project Sponsor shall also comply with Mitigation Measures 3.35 #1, 3 and 4 to reduce all visual quality impacts of the GDP/VTM Project to less than significant. Project Sponsor shall also comply with Mitigation Measures #1,3 and 4 to reduce all visual quality impacts of the recommended GDP/VTM Project to less than significant. <i>[Also included as CDP Condition III.1]</i></p>					
<p>Impact 3.35 #3. Site Characteristics: Development of the 35 lot project could alter the</p>	<p>Mitigation Measure 3.35 #3: To ensure a project that is consistent with its</p>	<p>Final landscape plan and architectural design</p>	<p>Planning Commission,</p>	<p>Prior to</p>		

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<p>character of the project site from the current semi-rural open space to a suburban setting. The Moraga General Plan (Policy CD1.2) specifies site and building design that retains a low visual profile and dense landscaping to blend structures with the natural setting. The development plan submitted provides illustrations of architectural character and location of home sites. The architectural styles illustrate one and two story homes in the Mediterranean and Colonial styles. Square footages of the homes' footprint are not provided, but the minimum building pad size appears to be approximately 8,200 square feet. The Preliminary Landscape Plan for the 35 lot project in the Draft EIR illustrates an informal and "layered" tree planting pattern (a combination of deciduous, evergreen and broadleaf evergreen trees) on top of a 4H:1V berm along the southern edge of "B" Drive and "B" Court. Significant landscaping in naturalistic clusters occurs at the western end of "B" Court and "C" Court, and along "A" Way.</p> <p>Rheem Boulevard itself is situated on a portion of an active landslide that is currently destabilizing the integrity of the roadway. A landslide buttress has therefore been proposed within the existing Rheem Boulevard creek channel to buttress the toe of the landslide in order to prevent further movement of the roadway. The landslide buttress consists of engineered fill that will subsequently raise the existing creek channel up to 15 feet vertically from its existing alignment. The new creek illustrated in the Preliminary Landscape Plan</p>	<p>surroundings and support the small town image, the Project Sponsor shall provide complete landscaping and building design that concentrates on the following distinct features:</p> <ol style="list-style-type: none"> Landscaping shall utilize existing oak trees and supplement them with medium-sized broadleaf deciduous street trees and shading canopy trees, but the tree species in the valley areas shall be selected to screen the "D" Drive residences but not grow so tall as to block upper hillside and skyline views from Rheem Boulevard.; Building height shall be restricted to a maximum of 35 feet to the highest point of the roof for two-story homes and 18-21 feet for single story homes. Not more than two two-story homes shall be placed side by side¹; and, Color selection for facades and roofs should be restricted to colors that blend with the landscape during the dry season (i.e., tans and light browns). <p>Project Sponsor shall also comply with Mitigation Measures 3.35 #1, 2 and 4 to reduce all visual quality impacts to less than significant for the GDP/VTM Project.</p> <p><i>[Also included as CDP Condition III.2]</i></p>	<p>envelope will be reviewed and approved by Planning Commission as part of Precise Development Plan, with input from Design Review Board. They must comply with the mitigation measures.</p> <p>Prior to approval of final grading plan and landscape plan for construction, Town Engineer and Planning Director shall confirm compliance with the mitigation measures.</p>	<p>Design Review Board, Planning Director, and Town Engineer.</p>	<p>approval of Precise Development Plan, and final grading plan and landscape plan before construction.</p>		<p>9.c</p> <p>11</p> <p>12</p>

¹ Correction of a clerical error in the MMRP approved with the GDP. An edit made to Mitigation Measure 3.35 #3.b by Town Council with the approval of the CDP (Minute Order 01-2011) was not correctly transcribed into the MMRP approved with the GDP.

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<p>(Figure 2.00-7) is associated with a dense planting of “riparian transition trees.” On the east side of the channel, “D” Drive and the 14 building pads along “D” Drive are also situated atop this buttness with a “debris bench” indicated in the rear of the majority of the building pads. The debris bench is essentially a retaining wall that appears, in some locations, to be in excess of 15 feet high.</p> <p>The Draft EIR did not identify sufficient mitigation to reduce this change in site characteristics impact to less than significant. As described below under Impact 3.35 # 2, including the Project Sponsor’s proposed visual quality mitigation measures in the Responses to Comments (see Master Response 3) for a redesign of 35 lot project landscaping reduces the change in site characteristics impact to less than significant, as seen from all public views, except for Rheem Boulevard.</p> <p>At the request of Town staff, the Project Sponsor’s engineer and landscape architect have prepared preliminary landscape and grading exhibits for a 27 Lot Project intended to reduce the intensity of the change in site characteristics resulting from the project. They are referred to as the Rheem Boulevard Visual Quality Mitigation Exhibits. These exhibits are consistent with recommendations from the EIR consultant and Town staff, as more fully discussed below under Impact 3.35 #4.</p> <p>As described here and in Impacts 3.35 #2 and 4, requiring the project to be redesigned to 27 lots consistent with the Rheem Boulevard Visual Quality Mitigation Exhibits, as recommended, will reduce the change in character of the project site characteristics as seen from Rheem</p>						

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<p>Boulevard to less than significant. The project site as developed will have a semi-rural or open appearance from all public views.</p> <p>This potentially significant impact of the change in site characteristics is less with the 27 Lot Project and the GDP/VTM Project than with the 35 lot project based on the mitigated design, and the mitigation will reduce the impact to less than significant.</p>						
<p>Impact 3.35 #4. Scenic Corridors: General Plan Policy CD1.3 specifically addresses view impacts along scenic corridors and views both from within Moraga and from adjacent jurisdictions. Views from along Rheem Boulevard and St. Mary's Road would be irreversibly changed as a result of the 35 lot project analyzed in the Draft EIR. See also Policy CD3.4 regarding canyon and valley areas.</p> <p>The foreground view from along Rheem Boulevard, a designated scenic corridor in the Town of Moraga General Plan, will be irreversibly changed as a result of the 35 lot project (Figure 3.35-11) in the Draft EIR. That plan has 14 homes fronting onto a local street ("D" Drive) situated approximately 100 to 150 feet from Rheem Boulevard and above the grade of Rheem Boulevard. The preliminary landscape plan and grading plan for the 35 lot project in the Draft EIR illustrate the existing Rheem Boulevard intermittent drainage channel, wetland swale, and seasonal wetlands being filled and replaced with a landslide buttress (as discussed in Impact 3.35 #3). The resulting new intermittent drainage channel is approximately 1.2 acres and includes significant deciduous and conifer</p>	<p>Mitigation Measure 3.35 #4: To mitigate the project's significant change in character of the site for travelers on Rheem Boulevard, a scenic road, by providing open views of the valley, hillsides, minor ridgeline and skyline, future project plans and maps shall be consistent with the 27 Lot Preliminary Grading Plan For Rheem Boulevard Visual Quality Mitigation (2 sheets) by CTA Engineers dated January, 2009, and Rheem Blvd. Visual Quality Mitigation Exhibit (2 sheets) by Land Architecture dated January 26, 2009. They are collectively referred to as the Rheem Boulevard Visual Quality Mitigation Exhibits. The plant palette and location shall be consistent with the recommendations of a restoration ecologist per Mitigation Measure 3.55 #3. Lots 1-6, 26 and 27 on "D" Drive homes shall be single story.</p> <p>The plant species for the recreated wetland swale and the intermittent drainage (grasses, shrubs and trees) in the final landscape plan shall be provided by the restoration ecologist for the project, subject to peer review by the Town</p>	<p>Final landscape plan shall be reviewed and approved by Planning Commission as part of Precise Development Plan, with input from Design Review Board. It must comply with the mitigation measures.</p> <p>Prior to approval of final grading plan and landscape plan for construction, Town Engineer and Planning Director shall confirm compliance with the mitigation measures.</p>	<p>Planning Commission, Design Review Board, Planning Director, Town Engineer, and Town biological monitor.</p>	<p>Prior to approval of Precise Development Plan, and then final grading plan and landscape plan before construction.</p>		<p>241</p>

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<p>tree planting in dense, naturalistic patterns. The Proposed BMPs and Drainage System plan illustrates two drainage sub-basins within this area as well, though no detail is given in their design or landscaping. The tall riparian landscape and trees and the new "D" Drive and 14 homes along essentially the entire Rheem Boulevard frontage north of "A" Way makes the scenic corridor impact significant and unavoidable with the 35 lot project in the Draft EIR. The Draft EIR did not identify sufficient mitigation to reduce this change in the visual quality of scenic corridors impact to less than significant.</p> <p>Even with the landscape changes proposed by the Project Sponsor after the Draft EIR was completed and as set forth in Response 3 of the Responses to Comments (see description in Impact 3.35 #2 above), this scenic corridor impact remains significant as to Rheem Boulevard for the 35 lot project.</p> <p>In order to keep the lower valley open and thereby provide a semi-rural appearance of the project site as viewed from Rheem Boulevard, the Planning Commission suggested the project be revised by shortening "D" Drive to end at the southerly end of the upper Rheem Valley. The Project Sponsor submitted a revised conceptual site plan, preliminary grading plan and preliminary landscape plan for 31 lots with 10 narrow lots on a shortened "D" Drive. Subsequently, the Planning Commission concurred with Town staff that the number of lots on shortened "D" Drive should be reduced to 6 wider, more spacious lots.</p> <p>Town staff concluded that even with only 6 homes on shortened "D" Drive lots, the scenic</p>	<p>biologist monitor, consistent with the letter dated March 10, 2009, from the Town's EIR biology subconsultant, Mike Wood.</p> <p>The placement of arroyo willows and other restoration trees required in Mitigation Measure 3.55 #5b shall be limited to the lower portion of the intermittent drainage to maintain the open views from the scenic road required in this mitigation measure. If necessary in order to maintain those open views from the scenic road, the remaining number of recommended willows and other restoration trees may be planted in Coyote Creek as part of the final landscape plan. The placement and type of restoration species proposed by the project restoration ecologist and landscape architect shall be reviewed by the Planning Department and Town biologist monitor for compliance with this mitigation measure and Mitigation Measure 3.55 #5b, to ensure that the dual objectives of mitigating visual impacts from Rheem Boulevard and ecological restoration are achieved.</p> <p>Project Sponsor shall also comply with Mitigation Measures 3.35 #1,2 and 3 to reduce all visual quality impacts to less than significant for the GDP/VTM Project.</p> <p><i>[Also included as CDP Condition III.4]</i></p>					

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>corridor impact of that development in the valley areas remained significant and unavoidable without limiting the height of those homes, reconfiguring "D" Drive, and modifying the 31 lot preliminary landscape plan. The landscaping would still block open views of the valley and the hillsides and skyline from the scenic road. This scenic corridor impact still exceeded the threshold of significance set forth in Response 3 and as informed by Policies CD1.3 and 4.</p> <p>Town staff and EIR consultants undertook to identify further design changes in the valley portion of the project that could mitigate its visual quality impacts as seen from Rheem Boulevard to less than significant. Those recommendations are set forth in the Visual Analysis and New 27 Lot Concept Memorandum by the EIR site design subconsultant, Community Design+Architect, dated October 27, 2008, and in the Town staff internal memorandum on the subject, dated November 5, 2008. In response, the Project Sponsor's engineer and landscape architect prepared and submitted the Rheem Boulevard Visual Quality Mitigation Exhibits for the 27 Lot Project. Town staff and EIR consultants suggested modifications to the plant palette in the wetland swale and intermittent drainage (in the lower valley area only), in order to provide improved consistency between visual quality mitigation to provide open valley, hillside and skyline views from the scenic road and ecological mitigation for filling these jurisdictional wetlands (see Mitigation Measure 3.55 #3).</p> <p>In the Visual Quality Mitigation Exhibits, the "D" Drive entry is relocated to the south end of the upper valley buttness as suggested. The 6 wide lots are on flat pads and limited to single-story</p>						

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<p>homes (18-21 feet to provide articulation). Only one 4 foot retaining is required behind the pads (on Lot 4). The debris benches behind those lots have slopes that do not exceed 10%. The residences will be single story, 18-21 feet in height to provide some articulation.</p> <p>The developed site will have open valley, hillside and skyline views of the site from Rheem Boulevard, per the Visual Quality Mitigation Exhibits included in Mitigation Measure 3.35 #4. The lower Rheem valley has no street or residences, just a narrow dirt public trail. The revised landscape plan for the upper and lower valleys includes low lying plants and grasses around the recreated wetland swale and intermittent drainage, in order to provide open views. The dense landscape with trees along the entire Rheem Boulevard frontage is removed. The landscape locations and palette will maintain the open cone of vision of the valley, hillsides, ridgeline and skyline on the project site, as identified by Town staff and EIR consultants for travelers on Rheem Boulevard, and provide for satisfactory ecological restoration.</p> <p>Tree and shrub landscape between the swale and "D" Drive and in the landscape easement on the residential side of the street will screen the residences but not be so tall as to block hillside and skyline views. A 7.5 landscape easement is provided in front of the "D" Drive homes for screen trees.</p> <p>With the project revisions and mitigation the site as developed will have a semi-rural or open appearance viewed from Rheem Boulevard, consistent with the scenic corridor designation.</p>						

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<p>The grading plan for the 35 lot project indicates that off-site grading occurs at the entry of "A" Way between the Rheem Boulevard right-of-way and the development's western boundary that is within MOSO land. This is another significant impact. The 27 Lot Project includes a revised preliminary grading plan that does not require off-site grading on MOSO land. The revised landscape plan for the recommended project includes native landscape planting on the southerly side of "A" Way to mitigate for on-site grading impacts in constructing the road.</p> <p>Mitigation Measure 3.35 #4 requires the general development plan and precise development plan to be consistent with Rheem Boulevard Visual Quality Mitigation Exhibits, modified as to plant species and location per the recommendations of a qualified ecologist per Mitigation Measure 3.55 #3. Thus, the 27 Lot Project and the GDP/VTM Project will reduce all visual quality impacts from all public views to below the significance threshold in the EIR. That includes the significance impact threshold for Rheem Boulevard scenic corridor views as informed by General Plan Policies CD1.3 and 4. The project will be semi-rural in appearance from that scenic road, with open views provided of the site's valleys, hillsides, ridgeline and skyline.</p> <p>This potentially significant impact in a scenic corridor is less with the 27 Lot Project and GDP/VTM Project than with the 35 lot project based on the mitigated design, and the mitigation will reduce the impact to less than significant.</p>						
<p>Impact 3.35 #5. Light and Glare: The 35 lot project will introduce new sources of light and glare into the study area and increase ambient</p>	<p>Mitigation Measure 3.35 #5: Project Sponsor shall comply with Mitigation Measure 3.35 #2, in order to significantly</p>	<p>Final landscape plan reviewed and approved by Planning Commission</p>	<p>Planning Commission, Design Review</p>	<p>With approval of the</p>		

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>light in the site vicinity. Effects will be visible from Rheem Boulevard, St. Mary's Road, Bollinger Canyon Road and several public streets and private residences in Moraga and Lafayette. This is a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot and GDP/VTM Project is less than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>reduce the effect of light and glare. Additionally, Project Sponsor shall comply with the landscape measures in Mitigation Measure 3.55 #4 in order to significantly reduce the effects of light and glare visible from the designated scenic corridors.</p> <p>To minimize the reflective light and glare, and ensure long-term maintenance, the Project Sponsor shall implement prior to Final Design Review:</p> <ul style="list-style-type: none"> a. Use non-reflective material and finishes. b. Ensure that all exterior lighting used for pathways, internal streets and parking area lighting shall be reflected downward. Streetlights shall be limited to intersections for safety purposes only, as determined necessary by the Public Works Department. If any monument signs are proposed, they shall be non-illuminated internally or externally. c. Provide safety lighting that incorporates low voltage lighting and/or treatments designed to reduce the amount of spill over into surrounding areas. d. Provide for a Homeowners Association that will undertake the responsibilities of the landscape lighting and distribution. <p><i>[Also included as Condition III.5]</i></p>	<p>as part of Precise Development Plan, with input from Design Review Board, shall comply with the mitigation measure.</p> <p>Prior to approval of final improvement plans, Town Engineer and Planning Director shall confirm compliance with the mitigation measure.</p> <p>In its review, Design Review Board shall confirm compliance with this mitigation measure.</p>	<p>Board, Planning Director, and Town Engineer.</p>	<p>Precise Development Plan, final improvement plans, and final design review of homes.</p>		<p>9.k I,ii,iii (3.35#3)</p>
<p>Impact 3.35 #6. Recreation & Trails: The 35 lot project will increase demand for public open space and trails. The trail connection between</p>	<p>Mitigation Measure 3.35 #6: The public trail system on the project site shall be as shown on the conceptual site</p>	<p>A final Public Trail System Plan shall be reviewed and approved</p>	<p>Planning Commission, Design Review</p>	<p>With Precise Developm</p>		<p>239</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>“B” Court west (along Lot #35) and the connection to the Lafayette-Moraga Trail is very steep and could result in significant disturbance to Coyote Creek. These are potentially significant impacts.</p> <p>In the 27 Lot Project, the open space trail connection described above has been relocated to connect with the public path on Fay Hill Road at the intersection with “E:” Street on the minor ridge down to a future connection at the Lafayette-Moraga Trail, on topography that is less steep and appropriate for a narrow dirt trail, 1-3 feet wide (depending on topography) within a 20 foot easement. The EVA will serve as a public trail, too. Parking for trail users is provided at the end of “B” Drive.</p> <p>The northerly connection toward the Faye Hill Reservoir has been eliminated and instead replaced with a northerly connection to the Palos Colorados trail system at Coyote Creek.</p> <p>A path in the valley along the Rheem Boulevard frontage is provided as shown on the Rheem Boulevard Visual Quality Mitigation Exhibits.</p> <p>The public trails have been further modified in the CDP/VTM Project, with an asphalt path instead of dg path on Rheem Blvd. and an additional trail easement toward Fay Hill Reservoir for a future connection to another public trail</p> <p>The public trails will be maintained by the Geologic Hazard Abatement District (GHAD) for the project as part of the Open Space Management Plan, eliminating the need for the East Bay Regional Park District or the Town to maintain them.</p>	<p>plan dated August, 2008, as modified in the Rheem Boulevard Visual Quality Mitigation Exhibits with respect to the valley trail. The project dirt trails connecting the Lafayette-Moraga Regional Trail, the emergency vehicle access along the minor ridge, and the Palos Colorados trails shall be restricted to 1-3 feet wide, depending on topography, within a 20 foot easement. Public parking for trail users shall be provided at the intersection of Fay Hill Road and “E” Street. Public trail easements shall be granted to the Town of Moraga if requested. The paths in the Rheem valley shall be 4 ½ foot wide asphalt along Rheem Boulevard and a trail easement toward the Fay Hill Reservoir for a future connection to another public trail is required..</p> <p>Public trail use and maintenance shall be administered as part of the Open Space Management Plan described in Mitigation Measure 3.10 #2. The Open Space Management Plan shall include a final Public Trail System Plan. The Geologic Hazard Abatement District (GHAD) formed by the Town Council for the project shall be responsible for public trail maintenance and control.</p> <p><i>[Also included in CDP Condition II.12]</i></p>	<p>by Planning Commission as part of Precise Development Plan, with input from Design Review Board. It must comply with the mitigation measure.</p> <p>Prior to approval of the final grading plan and landscape plan for construction, the Town Engineer and Planning Director shall confirm compliance with the mitigation measure.</p> <p>The Town Council shall review and approve the Open Space Management Plan prior to final subdivision map approval.</p> <p>Town Council shall be responsible for GHAD (see Mitigation Measure 3.20 #5a).</p>	<p>Board, Planning Director, Town Engineer for public trail system. Town Council for GHAD and Open Space Management Plan.</p>	<p>ent Plan approval, and then prior to final subdivision map approval.</p>		

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>This potentially significant impact of the 27 Lot and the GDP/VTM Project is less than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>						
<p>Impact 3.35 #7. Wetlands Restoration: The preliminary grading plan and preliminary landscape plan submitted for the 35 lot project include the construction of new intermittent drainage channel (approximately 1.2 acres in size) along Rheem Boulevard. In addition to the new channel and new tree planting, two drainage sub-basins are included in this area and illustrated in the Proposed BMPs and conceptual drainage system plan but not the preliminary landscape plan. Depending upon the design of the channel and drainage sub-basins, the development of the new channel might or might not have an adverse effect on the environment and therefore the impact is considered potentially significant.</p> <p>In the 27 Lot Project as mitigated, the existing wetland swale (0.13 acres/790 LF) in the upper Rheem valley is filled for the valley buttress and "D" Drive and a new wetland swale created (0.26 acres/991 LF). In the lower Rheem valley the existing intermittent drainage (0.33 acres/978 LF) is filled for the valley buttress and new intermittent drainage created (0.37 acres/995 LF). In addition, seasonal wetland (0.01 acres) and seep (0.05 acres) are filled for the valley buttress and the Project Sponsor proposes to create new seasonal wetland (minimum 0.01 acres) and new seep (minimum 0.05 acres) in the open space on the upper or lower valley buttress. These acreages and lineal footages do not reflect late changes to the 27 Lot Project (removal of the lower valley buttress</p>	<p>Mitigation Measure 3.35 #7: Development shall comply with Mitigation Measure 3.35 #4 (Visual Quality, Parks, Recreation, & Open Space Visual), Mitigation Measure(s) 3.55 #3b, #4b, #5a, #5b and #5c (Biological Resources), and Mitigation Measure(s) 3.30 #1a, #2 and #3 (Hydrology, Drainage and Water Quality).</p> <p>In the lower Rheem valley, the existing intermittent drainage filled for the GDP/VTM Project shall be replaced on site with new intermittent drainage, at least one to one, or as otherwise required by resource agencies.</p> <p>In the upper Rheem valley, the existing wetland filled for the GDP/VTM Project shall be replaced on site with new wetland swale, at least one to one, or as otherwise required by the resource agencies.</p> <p>The existing seasonal wetland filled for the GDP/VTM Project shall be replaced on site with new seasonal wetland, at least one to one, or as otherwise required by the resource agencies.</p> <p>Any existing seep filled for the GDP/VTM Project shall be replaced on site with new seep</p> <p>Final details and conditions for filling jurisdictional waters of the U.S. shall be</p>	<p>Final landscape plan will be reviewed and approved by Planning Commission as part of Precise Development Plan, with input from Design Review Board. It must comply with the mitigation measures.</p> <p>Prior to approval of final grading plan and landscape plan for construction, Town Engineer and Planning Director shall confirm compliance with the mitigation measures.</p> <p>Town Council shall be responsible for GHAD (see Mitigation Measure 3.20 #5a).</p>	<p>Planning Commission, Design Review Board, Planning Director, Town Engineer, Town biologist monitor, GHAD, and resource agencies.</p>	<p>With Precise Development Plan approval, then with final grading plan and landscape plan, and ongoing during construction and monitoring</p>		<p>240</p> <p>241</p> <p>92</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>and 'A' Way. Off site mitigation should not be necessary. With proper mitigation there will be no adverse effect on the environment.</p> <p>The GDP/VTM Project made small changes to wetland preservation and fills. Impacts will be mitigated on site.</p> <p>This potentially significant impact of the 27 Lot Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>determined through the Section 404 permitting process with the Army Corps of Engineers.</p> <p>The wetland restoration for the GDP/VTM Project shall be included in the final Wetland/Special-Status Species Plan and incorporated in the final landscape plan, and implemented under the direction of a qualified restoration ecologist for the project.</p> <p>The Project Sponsor shall request formation of and the Town Council shall form a Geologic Hazard Abatement District (GHAD) for the project, as more fully set forth in Mitigation Measure 3.20 #5a. One GHAD responsibility shall be long-term management of wetlands. Restored wetlands shall be included in a conservation easement, or other appropriate deed restriction, and maintained in perpetuity by the GHAD. <i>[Also included as CDP Condition III.7]</i></p>					
3.40 TRAFFIC, TRANSPORTATION AND CIRCULATION						
<p>Impact 3.40 #2. Traffic Control Needs and Vehicle Queues at St. Mary's Road/ Rheem Boulevard: The current striping on the Rheem Boulevard approach includes a left-turn lane and a limited (2-3 car length) right-turn lane. The predominant flow on this approach is left turns, and the left-turn queues can occasionally</p>	<p>Mitigation Measure 3.40 #2: The Project Sponsor shall contribute a proportional share toward the eventual construction of a northbound left turn lane from St. Mary's Road to Rheem Boulevard. The project's share of this left turn lane would be the average of the project's AM and PM peak</p>	<p>Prior to approval of the Precise Development Plan, the Town of Moraga will ensure that the Project Sponsor has committed to its share of the left turn lane</p>	<p>Planning Director and Town Engineer.</p>	<p>Amount determined prior to Precise Development Plan approval</p>		257

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>block access to the right-turn lane. However, this situation does not appear to significantly impact the intersection's operation. It is also noted that sight distance to the north on St. Mary's Road is somewhat limited by foliage and the hillside. As noted with existing conditions, PM peak hour conditions could warrant a left-turn lane on northbound St. Mary's Road. The project would add 3-5% to existing left turn volumes, adding to the need for a left turn lane. This is considered a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot Project and GDP/VTM Project is less than with the 35 lot project (fewer units), and the mitigation will still reduce the impact to less than significant.</p>	<p>hour volume shares. The fair share amount per unit shall be paid at building permit. <i>[Also included as CDP Condition VIII.7]</i></p>	improvement.		and then paid at building permit.		
<p>Impact 3.40 #4. Access Intersection Design: Based on Caltrans design standards, the prevailing vehicle speeds on Rheem Boulevard (35-39 mph critical speed) near the proposed north access would require about 385 feet (north) and 430 feet (south) of "corner sight distance." The Rheem Boulevard speeds near the proposed middle and south access points (42-44 mph critical speed) would require about 460 feet (south) and 485 feet (north) of "corner sight distance" (<i>Caltrans Highway Design Manual</i>). The Caltrans corner sight distance standards state that "a substantially clear line of sight should be maintained between the driver of a vehicle waiting at the cross road and the driver of an approaching vehicle in the right lane of the main highway." Based on approximate field measurements and a review of the project plans, it is apparent that these corner sight distances could generally be provided. In the vicinity of the proposed middle</p>	<p>Mitigation Measure 3.40 #4 in the Draft EIR is not included due to project circulation changes. Condition <u>73</u> for the GDP/VTM Project is included here as a mitigation measure addressing sight distance and other circulation requirements for the Fay Hill Road/Rheem Blvd. intersection.</p>	N/A	N/A	N/A		

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>and south accesses, there is substantial foliage along the project side of the roadway, and this foliage would need to be removed to provide the appropriate sight distance. At the proposed north access, visibility to the south is somewhat limited by the hill and foliage. However, it appears that minor grading and foliage trimming could provide the appropriate sight distance. To the north, sight distance is limited (by horizontal and vertical curves in Rheem Boulevard) to about 325 feet. It is not clear if this sight distance could be measurably increased. It is recommended that the corner sight distance be more precisely determined as a part of the final site design. This would be considered a potentially significant impact.</p> <p>In the 27 Lot Project as mitigated, "D" Drive access has been relocated to Fay Hill Road. There are no sight distance concerns in the new location and it is not a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot Project as designed is less than significant and therefore Mitigation Measure 3.40 #4 in the Draft EIR is no longer necessary.</p>						
<p>Impact 3.40 #5. Internal Circulation: The Town generally adheres to the Contra Costa County street standards that require a 32 foot width on "minor streets" (<i>Contra Costa County, Contra Costa County Code; telephone discussion with Mr. Bob Dunn, Town Engineer, June 16, 2003</i>). The internal streets of the 35 lot project in the Draft EIR would be 32 feet in width. The Contra Costa Fire District requires a minimum width of 20 feet for access roads with a 28 foot roadway allowing parking on one side and a 36 foot roadway allowing parking on both</p>	<p>Mitigation Measure 3.40 #5: Internal streets and EVA for the 27 Lot Project shall be consistent with the Grading Sections on Sheet 2 of the Preliminary Grading Plan by CTA Engineering dated August, 2008, have been refined in the GDP/VTM Project, based on input from the Town Engineer and Moraga-Orinda Fire District. Final design of the internal streets is subject to approval by the Town Engineer and Moraga-Orinda Fire District.</p>	<p>Prior to approval of the Precise Development Plan, the Town of Moraga will ensure that plans reflect the required design.</p>	<p>Town Engineer and Fire Marshall.</p>	<p>With Precise Development Plan approval.</p>		<p>53</p>

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<p>sides. These standards suggest that the project's internal streets would be considered a potentially significant impact.</p> <p>Subsequently, the Town Engineer reviewed and found acceptable the road, court and EVA grading sections on Sheet 2 of the Preliminary Grading Plan by CTA Engineering dated August, 2008. The section standards are consistent with the recommendations of the Moraga-Orinda Fire District. Those sections were reviewed with the Planning Commission at its meeting on May 18, 2008. For "B" Court and "D" Drive: 36' right of way (ROW) with 13.5' driving aisles, curbs on both sides, parking and sidewalk on one side (signage and red curb if required by Fire District). For "C" Court: 32' ROW, same 13.5' driving aisle width, parking one side, but with no sidewalk. For "A" Way: 34' ROW, no parking either side, sidewalk one side. For "A" Way Entry: 12' driving aisles separated by 10 landscape strip. For EVA: 30' easement, 20' all weather surface (compacted gravel for new sections subject to Fire District review and approval).</p> <p>Roadway widths and parking are limited in order to reduce grading and the need for retaining walls. The private streets will be open to public use. Additional public parking for trail users is provided at the end of "B" Drive.</p> <p>With these private road sections as part of the project acceptable to the Town Engineer and Fire District, this impact is less than significant.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is less than with the 35 lot project, and the mitigation will reduce the impact to less than significant.</p>	<p><i>[Also included as CDP Condition II.6]</i></p>					

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3.45 AIR QUALITY						
<p>Impact 3.45 #2. Construction Activities: Dust generation from short-term construction activities associated with development of the project site would cause potential health and nuisance air quality impacts to adjacent land uses. Although temporary, this would be a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.45 #2: Incorporate measures to reduce dust and equipment exhaust emissions into construction plans.</p> <ol style="list-style-type: none"> Water all active construction areas at least twice daily and more often during windy periods. Active areas adjacent to residences shall be kept damp at all times Cover all hauling trucks or maintain at least two feet of freeboard. Dust-proof chutes shall be used, if appropriate, to load debris onto trucks during demolition. To prevent blowing dust, pave, or apply water three times daily or as necessary depending upon wind and temperature, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites. To ensure that these emissions are less-than-significant, visible dust clouds should be prevented from extending beyond construction sites. Sweep daily (with vacuum sweepers) all paved access roads, parking areas, and staging areas and sweep streets daily (with vacuum sweepers) if visible soil material is deposited onto the adjacent roads. If water sweepers are utilized, they shall meet the requirements of the SWPPP (such as filtering of runoff to prevent residual 	<p>All measures must be incorporated into the final grading plan.</p> <p>During grading, the Project Sponsor's Construction Manager, in consultation with Town Engineer and Building Inspection Services, shall be responsible for construction related air quality mitigation monitoring and implementation. The Construction Manager shall be responsible for compliance with the SWPPP (see Mitigation Measure 3.30 #3) and provide a monthly compliance report.</p>	<p>Town Engineer and Building Inspection Services, and Construction Manager for Project Sponsor, and Town Engineer.</p>	<p>Prior to approval of final grading plan, and during grading monthly.</p>		<p>216</p>

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	<p>materials from entering the drainage system).</p> <ul style="list-style-type: none"> e. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas that are inactive for 10 days or more). f. Enclose, cover, water twice daily, or apply (non-toxic) soil binders to exposed stockpiles. g. Provide signage to limit traffic speeds on any unpaved roads to 10 mph. h. Install sandbags or other erosion control measures to prevent silt runoff to public roadways. i. Replant vegetation in disturbed areas as quickly as possible. j. Install wheel washers for all exiting trucks, or wash off the tires or tracks of all trucks and equipment leaving the site. k. Install wind breaks at the westerly or windward side(s) of construction areas if determined necessary by the Town Engineer for off-site dust control.. l. Suspend excavation and grading activity when winds exceed 25 mph and cause visible dust clouds that extend beyond construction boundaries. An on-site wind gauge shall be installed that can be monitored by inspection personnel. 					

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	<p>m. Properly maintain construction equipment and avoid unnecessary idling near residences.</p> <p>n. Designate a disturbance coordinator that would respond to complaints regarding construction-related air quality issues. The phone number for this disturbance coordinator shall be clearly posted at the construction sites.</p> <p><i>[Also included as CDP Condition IV.5]</i></p>					
3.50 NOISE						
<p>Impact 3.50 #2. Construction Activities: During construction, there would be a temporary short-term increase in noise levels outside of residences surrounding the site. These noise level increases would represent a short-term significant impact.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.50 #2: The following construction mitigation shall be implemented:</p> <p>a. Construction Scheduling: Limit noise-generating construction activities, including truck traffic coming to and from the site for any purpose, to daytime, weekdays, and non-holiday hours (8:00 am to 5:00 pm). No engine idling between 8 am or after shall be allowed.</p> <p>b. Construction Equipment Mufflers and Maintenance: Properly muffle and maintain all construction equipment powered by internal combustion engines.</p> <p>c. Equipment Location and Shielding: Locate all stationary noise-generating construction equipment, such as air compressors, as far as practical from existing nearby residences and other</p>	<p>All measures must be incorporated into the final Improvement Plans.</p> <p>During grading and construction, the Project Sponsor's Construction Manager, in consultation with Town Engineer and Building Inspection Services, shall be responsible for construction related noise mitigation monitoring and implementation. The Construction Manager shall provide a monthly compliance report.</p>	<p>Town Engineer and Building Inspection Services.</p>	<p>Prior to approval of final improvement plans, and monthly during grading and construction.</p>		220 - 228

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	<p>noise-sensitive land uses. Acoustically shield such equipment with temporary solid barriers (e.g., plywood).</p> <p>d. Quiet Equipment Selection: Select quiet construction equipment (e.g., equipment which includes noise control devices such as mufflers), particularly air compressors, whenever possible. Fit motorized equipment with proper mufflers in good working order.</p> <p>e. Notification: Notify neighbors located adjacent to the construction site of the construction schedule in writing. Notification shall be at least one week prior to commencement of construction.</p> <p>f. Disturbance Coordinator: Designate a "noise disturbance coordinator" (hired by the Town of Moraga and paid for by the Project Sponsor) who would be responsible for responding to any local complaints about construction noise. The disturbance coordinator would determine the cause of the noise complaint (e.g., starting too early, bad muffler, etc.) and would require that reasonable measures warranted to correct the problem be implemented. Conspicuously post a telephone number for the disturbance coordinator at the construction site and include it in the notice sent to neighbors regarding the construction schedule.</p> <p><i>[Also included as CDP Condition V.5]</i></p>					

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3.55 BIOLOGICAL RESOURCES						
<p>Impact 3.55 #3. Loss of USACE - Jurisdictional Wetlands: Grading for lots, roadways, slope repair and habitat mitigation/restoration for the 35 lot project in the Draft EIR would result in the loss of 0.66 acres of waters of the U.S. under the jurisdiction of the USACE (total existing jurisdictional acreage on site is 1.78 acres and total lineal footage is 10,069)). Impacts to wetlands are regulated under the Clean Water Act (Sections 401 and 404) and Section 1600, et seq. of the State Fish and Game Code. Specifically, project implementation would result in direct impacts to seeps, seasonal wetlands, wetland swale and vegetated and unvegetated intermittent drainages (0.66 acres; 2,042 lineal feet). A summary of all wetland impacts of the 35 lot project is provided in Table 3.55-2 of the Draft EIR. Impacts to waters of the U.S. are restricted to lands adjacent to the Rheem Boulevard drainage. Impacts would result from the construction of the proposed "A" Way access road over the intermittent drainage and related slope stabilization adjacent to Rheem Boulevard, and from placement of the valley buttress in the upper and lower Rheem valleys for construction of "D" Drive and its 14 homes and the stabilization of Rheem Boulevard. This is considered a potentially significant impact.</p> <p>Mitigation for the 35 lot project is detailed in the Revegetation and Monitoring Plan for the Re-Created Rheem Boulevard Creek dated December 23, 2005, by Sycamore Associates,</p>	<p>Mitigation Measure 3.55 #3a: Impacts to waters of the U.S., including wetlands, are regulated by the USACE, CDFG, and RWQCB and will be subject to permit conditions imposed by these agencies. Prior to the placement of fill into waters of the U.S., the Project Sponsor is required to obtain permits under Section 404 and Section 401 of the Clean Water Act, as well as Section 1600 et seq. of the state Fish and Game Code. The mitigation measures imposed on the project are subject to regulatory review and approval. Prior to the issuance of grading permits by the Town of Moraga, approvals by the USACE, CDFG, and RWQCB are required.</p> <p><i>[Also included as CDP Condition II.8]</i></p> <p>Mitigation Measure 3.55 #3b: On-site and/or off-site wetland mitigation is subject to the approval of the regulatory agencies, and project development is subject to the issuance of the appropriate wetland permits. The Project Sponsor intends to provide for all wetland mitigation on site for the GDP/VTM Project. A final Rheem Valley Revegetation Plan shall be incorporated in the Wetland/Special-Status Species Plan, both updated to reflect the GDP/VTM Project and specifically outlining mitigation measures for unavoidable impacts to approximately</p>	<p>Prior to approval of final grading plan, Town of Moraga shall review the final Wetland/Special-Status Species Plan and Rheem Valley Revegetation Plan for compliance with mitigation measures.</p> <p>Mitigation plantings shall be monitored for no less than five years following completion of plant installation and seeding. Annual reports shall be submitted to the Town of Moraga, USACE, CDFG and RWQCB.</p> <p>Preservation in perpetuity of jurisdictional wetlands and upland buffer, in a Conservation Easement, or similar deed restriction, in favor of the Town or appropriate third party entity, preserved in perpetuity and managed by GHAD.</p> <p>Town Council shall be responsible for GHAD (see Mitigation Measure</p>	<p>Town Planning Department, Town Engineer, Town biological monitor, resource agencies, and GHAD.</p>	<p>(a) Prior to Precise Development Plan approval, prior to approval of final grading plan, and during grading; and</p> <p>(b) annually for five years; and</p> <p>(c) monitoring and maintenance in perpetuity through GHAD.</p>		<p>143</p> <p>237</p> <p>238</p> <p>239</p> <p>240</p>

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<p>LLC, and included as Attachment A to Master Response 7 in the Responses to Comments (2005 Rheem Valley Revegetation Plan).</p> <p>In the 27 Lot Project as mitigated, the loss of jurisdictional wetlands is less than in the 35 lot project, due to changes in the upper and lower valley areas. The total jurisdictional acreage loss is reduced to 0.52 acres. The preserved jurisdictional acreage is 1.26 acres.</p> <p>In the 27 Lot Project as mitigated, the existing wetland swale (0.13 acres/790 LF) in the upper Rheem valley is filled for the valley buttress and "D" Drive and a new wetland swale created (0.26 acres/991 LF). In the lower Rheem valley the existing intermittent drainage (0.33 acres/978 LF) is filled for the valley buttress and new intermittent drainage created (0.37 acres/995 LF). In addition, seasonal wetland (0.01 acres) and seep (0.05 acres) are filled for the valley buttress and the Project Sponsor proposes to create new seasonal wetland (minimum 0.01 acres) and new seep (minimum 0.05 acres) in the open space on the upper or lower valley buttress.</p> <p>The 27 Lot Project includes the modified landscape plan for the recreated wetland swale and intermittent drainage in the Rheem Boulevard Visual Quality Mitigation Exhibits, intended to provide a lower visual profile to improve open views of the project site from the scenic road. The planting palette for these locations in Table 6 at Section 5.7.1 of the Rheem Valley Revegetation Plan and in the Visual Quality Mitigation Exhibits should be modified for the same purpose by a qualified restoration ecologist so that both objectives, providing open views of the project site from</p>	<p>0.56 acre of wetlands and 484 lineal feet of stream..</p> <p>In the lower Rheem valley, the existing intermittent drainage filled for the GDP/VTM Project shall be replaced on site with new intermittent drainage, at least one to one, or as otherwise required by resource agencies..</p> <p>In the upper Rheem valley, the existing wetland swale filled for the GDP/VTM Project shall be replaced on site with new wetland swale, at least one to one, or as otherwise required by resource agencies.</p> <p>The existing seasonal wetland filled for the GDP/VTM Project shall be replaced on site with new seasonal wetland, at least one to one, or as otherwise required by resource agencies</p> <p>Any existing seep filled for the 27 Lot Project shall be replaced on site with new seep at least one to one, or as otherwise required by resource agencies</p> <p>The Plans shall be prepared by a qualified restoration ecologist. The Plans shall provide for the re-creation and enhancement of surface channel (approximately 0.56 acre of wetlands and 484 lineal feet of stream), , at a ratio of at least one to one, or as otherwise required by the resource agencies, which will be revegetated with native species. The Plans shall be consistent with the Rheem Boulevard Visual Quality Mitigation Exhibits, subject to mitigation consistency adjustments as more fully described in</p>	<p>3.20 #5a).</p>				

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<p>Rheem Boulevard, a scenic road, and creating a high quality wetland swale and intermittent drainage, are achieved. See Impact 3.35 #4 and Mitigation Measure 3.35 #4 for further discussion.</p> <p>With implementation of Mitigation Measures 3.55 #3a and 3b, this impact will be less than significant. Due to project design, no off-site mitigation is necessary as was initially discussed in the Draft EIR, but the final scope of project requirements and conditions, including the replacement jurisdictional acreage, will be determined through the 404 permit and related resource agency processes</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.35 #4 and Mitigation Measure 3.55 #4b and #5b.</p> <p>The Plans shall be submitted for resource agency review. Final details and conditions for filling jurisdictional waters of the U.S. shall be determined through the Section 404 permitting process with the Army Corps of Engineers.</p> <p>The Plans shall detail wetland protection, replacement, and restoration. The Plans shall accurately identify the total wetlands and other jurisdictional areas affected by the project. The Plans shall provide for re-establishment, enhancement, and/or replacement of wetland habitat and vegetation "in-kind" at a minimum replacement ratio of 1:1, or as otherwise stipulated by and subject to review and approval by the USACE, RWQCB, and CDFG.</p> <p>Created or enhanced wetlands shall be monitored for no less than five years following completion of plant installation or as otherwise specified in the permit conditions. Annual reports shall be submitted to the Town of Moraga, USACE, CDFG, and RWQCB. At a minimum, details of the Plans should include the following:</p> <ol style="list-style-type: none"> a. The location(s) of mitigation areas, including the types and extent of each habitat type to be created; b. Mitigation for loss of existing wetlands shall be provided at a minimum "in-kind" replacement ratio of 1:1, or as 					

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	<p>otherwise stipulated by the USACE, CDFG and RWQCB, and shall result in created or restored wetlands with an equal or higher habitat value;</p> <p>c. A water budget (hydrological analysis) shall be prepared by the Project Sponsor analyzing water demand for each mitigation habitat type to be created and the ability of the watershed to support the target wetland habitats;</p> <p>d. The stated goal of the mitigation effort shall be to establish self-sustaining native riparian vegetation that shall not require long-term irrigation or maintenance;</p> <p>e. The mitigation site shall include the establishment of a vegetated upland buffer no less than 50 feet wide on all sides, where practicable; and</p> <p>f. A detailed mitigation and monitoring plan shall be prepared summarizing the total area of habitat to be restored, grading details, analysis of site hydrology and its ability to support the proposed riparian vegetation, location and quantities of all indigenous plant materials to be installed, the location, application rate, and minimum germination rates of all native seed mixes to be used on all bare ground surfaces, monitoring procedures and schedules, identification of remedial measures, and performance criteria to be used by the agencies to assess success or failure of the mitigation</p>					

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	<p>effort.</p> <p>The Plan shall be reviewed by the Town biologist monitor prior to submittal to the USACE, CDFG, and RWQCB for approval.</p> <p>The jurisdictional wetlands (recreated and preserved) shall be incorporated in the final landscape plan and mitigation implemented under the direction of a qualified restoration ecologist for the project.</p> <p>The Project Sponsor shall request formation of and the Town Council shall form a Geologic Hazard Abatement District (GHAD) for the project, as more fully set forth in Mitigation Measure 3.20 #5a. One GHAD responsibility shall be long-term management of jurisdictional wetlands.</p> <p>All restored jurisdictional wetlands, along with an appropriate upland buffer, shall be placed in a permanent Conservation Easement, or similar deed restriction, in favor of the Town or appropriate third party entity, preserved in perpetuity, and managed by the GHAD.</p> <p>Prior to the issuance of grading permits by the Town of Moraga, the Project Sponsor shall provide evidence of the required approvals from the USACE, CDFG, and RWQCB. <i>[Also included as CDP Condition II.9]</i></p>					
<p>Impact 3.55 #4. Non-Corps Jurisdictional Wetlands: The 35 lot project in the Draft EIR would result in impacts to a total of 0.65 acre of</p>	<p>Mitigation Measure 3.55 #4a: The Project Sponsor shall obtain permits under Section 401 of the Clean Water Act and</p>	<p>The final Rheem Valley Revegetation Plan shall be completed prior to</p>	<p>Town Planning Department,</p>	<p>a)Prior to Precise</p>		<p>143</p>

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<p>riparian habitats not otherwise qualifying as federally regulated wetlands; i.e., Central Coast riparian scrub. Impacts to isolated wetlands and other aquatic habitats not specifically regulated by the USACE may be regulated separately under the Clean Water Act (Section 401) and Section 1600, et seq. of the California Fish and Game Code. Pursuant to Section 401 of the Clean Water Act, a water quality certification or waiver must be issued by the RWQCB before the USACE could issue a Section 404 permit to fill any wetlands. The RWQCB routinely consults with the CDFG for technical assistance regarding an assessment of appropriate mitigation measures for unavoidable impacts to isolated wetlands and riparian habitats.</p> <p>Impacts to Central Coast riparian scrub are restricted to habitat adjacent to the Rheem Boulevard drainage. Impacts would result from the construction of the proposed "A" Way access road, and from the placement of fill adjacent to Rheem Boulevard for slope stabilization purposes. This is a potentially significant impact.</p> <p>The 27 Lot Project and the GDP/VTM includes the modified landscape plan for the recreated wetland swale and intermittent drainage in the Rheem Boulevard Visual Quality Mitigation Exhibits, intended to provide a lower visual profile to improve open views of the project site from the scenic road. The planting palette for these locations in Table 6 at Section 5.7.1 of the Rheem Valley Revegetation Plan and in the Visual Quality Mitigation Exhibits should be modified for the same purpose by a qualified restoration ecologist with respect to the coastal scrub, so that both objectives, providing open</p>	<p>Section 1600, et seq. of the State Fish and Game Code prior to site grading. These permits, administered by the RWQCB and CDFG, respectively, would identify specific mitigation measures to be imposed on the project as permit conditions. <i>[Also included as CDP Condition II.10]</i></p> <p>Mitigation Measure 3.55 #4b: The 2005 Rheem Valley Revegetation Plan provides details on revegetation goals and objectives, conceptual design and typical planting seeding plans, schedule, site preparation, invasive species control, soil salvage, planting and seeding specifications, maintenance, monitoring methodologies, performance standards, reporting, contingency measures, and responsibilities and funding.</p> <p>The 2005 Rheem Valley Revegetation Plan shall be modified by a qualified restoration ecologist to reflect the GDP/VTM Project and its Rheem Boulevard Visual Quality Mitigation Exhibits and submitted to the RWQCB, CDFG, and the Town of Moraga for review and approval. The final Plan shall result in the replacement of approximately 0.01 acres of Central Coast riparian scrub habitat, at a ratio of at least one to one, or as otherwise required by the resource agencies, with its placement in the Rheem valley area and, if necessary, in the Coyote Creek area, subject to the open view requirements in Mitigation Measure 3.35 #4.</p> <p>Mitigation plantings shall be monitored for</p>	<p>approval of any resource agency permit and the Precise Development Plan.</p> <p>Any replacement mitigation would be created simultaneous with, or prior to, incremental loss of wetlands on the site.</p> <p>Mitigation plantings shall be monitored for no less than five years following completion of plant installation. Annual reports shall be submitted to the Town of Moraga, USACE, CDFG and RWQCB.</p> <p>Preservation in perpetuity of non-jurisdictional wetlands (scrub) and upland buffer, in a Conservation Easement, or similar deed restriction, in favor of the Town or appropriate third party entity, preserved in perpetuity and managed by GHAD.</p> <p>Town Council shall be responsible for GHAD (see Mitigation Measure 3.20 #5a).</p>	<p>Town Engineer, Town biological monitor, resource agencies, and GHAD.</p>	<p>Development Plan approval;</p> <p>b) prior to approval of final grading plan;</p> <p>c) during grading;</p> <p>d) annually for five years; and</p> <p>e) monitoring and maintenance in perpetuity by GHAD.</p>		<p>240</p> <p>241</p>

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<p>views of the project site from Rheem Boulevard, a scenic road, and creating a high quality wetland swale and intermittent drainage, are achieved. See Impact 3.35 #4 and Mitigation Measure 3.35 #4 for further discussion.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>no less than five years following completion of plant installation or as otherwise specified in the permit conditions. Annual reports shall be submitted to the Town of Moraga, CDFG, and RWQCB.</p> <p>The final mitigation imposed on the project are subject to Agency review and must meet the requirements of the CDFG, and RWQCB. At a minimum, the final mitigation in the Plan shall include the following:</p> <ul style="list-style-type: none"> a. The total area of willow canopy impacted shall be replaced at a minimum ratio of at least two acres for each acre impacted. Willow planting areas shall utilize a combination of pole cuttings collected from trees on site, in addition to 201 willow tree plantings (see also Mitigation Measures 3.55 #5b and 3.35 #4); b. A water budget (hydrological analysis) shall be prepared analyzing water demand for each mitigation habitat type and the ability of the watershed to support the target habitats; c. Impacted non-wetland native tree species associated with riparian corridors (e.g., coast live oak, valley oak, arroyo willow, California buckeye, black walnut) shall be replaced at a minimum of one 1½-gallon sized tree for every six inches of aggregate trunk diameter that is 					

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	<p>uprooted, using trees from East Bay stock (see Mitigation Measure 3.55 #5a, below);</p> <p>d. The stated goal of the mitigation effort shall be to establish self-sustaining native riparian vegetation that shall not require long-term irrigation or maintenance;</p> <p>e. The mitigation site shall include an upland buffer of no less than 50 feet on all sides.</p> <p>The Plan shall be reviewed by the Town biologist monitor prior to submittal to the CDFG and RWQCB for approval.</p> <p>The recreated non-jurisdictional wetlands shall be incorporated in the final landscape plan and mitigation implemented under the direction of a qualified restoration ecologist for the project.</p> <p>The Project Sponsor shall request formation of and the Town Council shall form a Geologic Hazard Abatement District (GHAD) for the project, as more fully set forth in Mitigation Measure 3.20 #5a. One GHAD responsibility shall be long-term management of non-jurisdictional wetlands.</p> <p>All restored non-jurisdictional wetlands, along with an appropriate upland buffer, shall be placed in a permanent conservation easement, or similar deed restriction, in favor of the Town or appropriate third party entity, preserved in</p>					

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	<p>perpetuity, and managed by the GHAD.</p> <p>Prior to the issuance of grading permits by the Town of Moraga, the Project Sponsor shall provide evidence of the required approvals from the CDFG, and RWQCB. <i>[Also included as CDP Condition II.11]</i></p>					
<p>Impact 3.55 #5. Loss of Native Trees: The majority of impacts from the 35 lot project in the Draft EIR to mature native trees would occur along Rheem Boulevard. Impacts would result from the construction of the proposed "A" Way access road, and from the placement of fill adjacent to Rheem Boulevard for slope stabilization purposes. A total of 64 mature native trees (55 willows, nine upland trees) would be directly impacted by construction adjacent to Rheem Boulevard (see Table 3.55-3). A tree survey was prepared for all trees with a diameter of six inches or greater adjacent to the Rheem Boulevard drainage (Foothill 2002a). The EIR team mapped and measured trees on the east side of the ridge adjacent to lots 15, 16, 17, 18, and 24. A summary of tree impacts and proposed mitigation is provided in Table 3.55-3. Impacts to mature willows are also addressed separately in Mitigation Measure 3.55 #4, above. This is considered a potentially significant impact.</p> <p>In addition to direct removal of native trees, direct impacts to trees result when grading or trenching occurs within the dripline (defined as the area beneath the extent of a tree's canopy). Grading can sever main support roots and injury to branches and the trunk can result from equipment operating too close to the tree. Direct impacts from surface disturbances within</p>	<p>Mitigation Measure 3.55 #5a. Native Upland Trees: Potential direct impacts to a total of number of mature native trees including coast live oak, valley oak, California buckeye, and black walnut, could result from tree removal as well as grading or filling within the dripline. All direct impacts to native trees shall be mitigated through planting at least 42 container-grown trees (the minimum required in the 2005 Rheem Valley Revegetation Plan) in the designated open space preserve in the re-aligned lower Rheem Boulevard drainage corridor between "D" Drive and "A" Way, or elsewhere within the Conservation Easement. The locations for mitigation trees shall be identified in the final landscape plan and the final Rheem Valley Revegetation Plan.</p> <p>Direct impacts to native trees shall be mitigated by planting one 1½ gallon-sized tree or comparable for every six inches of aggregate trunk diameter that is impacted. Replacement trees shall be from local East Bay sources.</p> <p>As a measure of the successful implementation of this mitigation measure, the survivorship of container plantings</p>	<p>The Rheem Valley Revegetation Plan for the 27 Lot Project shall include appropriate tree protection and replacement programs, and completed prior to approval of any resource agency permit and the Precise Development Plan.</p> <p>Any replacement mitigation shall be created simultaneous with, or prior to, incremental loss of native trees on the site.</p> <p>Mitigation plantings shall be monitored for no less than five years following completion of plant installation. Annual reports shall be submitted to the Town of Moraga, USACE, CDFG and RWQCB.</p> <p>Preservation in perpetuity of native trees, in a</p>	<p>Town Planning Department, Town Engineer, Town biological monitor, resource agencies, and GHAD.</p>	<p>a) Prior to PDP approval;</p> <p>b) prior to approval of final grading plan;</p> <p>c)during grading;</p> <p>d) annually for five years; and</p> <p>e)monitoring and maintenance in perpetuity by GHAD.</p>		<p>156</p> <p>240</p> <p>241</p> <p>246</p>

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<p>the dripline may cause the ultimate death of a tree by reducing root support or root surface area, and by making a tree susceptible to disease or insect attack through limb injury. Trees were considered to be directly impacted if proposed grading or filling would encroach with the dripline. This is a considered to be a potentially significant impact.</p> <p>Additional impacts to native trees could result from the installation of a sewer line that would extend from the end of "C" Court through the existing woodland to the Lafayette-Moraga Regional Trail. Details of this potential project component have not been completed and impacts have not been quantified. If installation of this sewer line would require excavation of an open ditch is very likely to result in direct removal of native trees, as well as indirect effects on the root systems of native trees. One alternative to the use of an open ditch might include boring a tunnel down the wooded slope, thus avoiding the need to remove trees and, at least potentially, avoiding impacts to native tree root systems. Another alternative includes the construction of a lift station to pump wastewater upslope to the proposed gravity sewer line in "B" Drive, thus avoiding the need for tying the line into the main sewer line at the Lafayette-Moraga Regional Trail. This alternative mitigation measure is discussed in Mitigation Measure 3.65 #2a and #2b. Impacts to native trees would be considered potentially significant.</p> <p>In the 27 Lot Project and the GDP/VTM Project, as mitigated by incorporating the Rheem Blvd. Visual Quality Mitigation Exhibit, native trees will not be planted in the recreated wetland swale and intermittent drainage in order to</p>	<p>shall be at least 80 percent by the third year and 75 percent by the fifth year. In addition, the health and vigor ratings for the tree plantings shall be an average of at least "2" at the end of the five-year monitoring period, as described in the 2005 Rheem Valley Revegetation Plan. <i>[Also included as CDP Condition IV.7]</i></p> <p>Mitigation Measure 3.55 #5b. Native Willows: Potential impacts to mature native arroyo willow canopy shall be mitigated through replacement of a minimum of two acres of arroyo willows for each acre of willow canopy impacted. The location and number of new arroyo willows and other restoration trees planted in the lower Rheem valley shall be consistent with requirement to provide open views of the project site from Rheem Boulevard, a scenic road, as more fully set forth in Mitigation Measures 3.35 #4 and 3.55 #4b, with some trees planted in the Coyote Creek area if necessary and as identified in the Final Landscape Plan. A combination of pole cuttings and container plantings shall be incorporated in the revegetation.</p> <p>The survivorship of all willow container plantings shall be at least 80 percent by the third year and 75 percent by the fifth year. The health and vigor for the tree plantings shall be at least two inches at the end of the five-year monitoring period, as described in the 2005 Rheem Valley Revegetation Plan.</p> <p>Replacement trees shall be from local East Bay sources. Pole cuttings shall be</p>	<p>Conservation Easement, or similar deed restriction, in favor of the Town or appropriate third party entity, preserved in perpetuity and managed by GHAD.</p> <p>Town Council shall be responsible for GHAD (see Mitigation Measure 3.20 #5a).</p>				

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<p>maintain open views of the project site from the scenic road. New riparian tree planting shall instead be located in other appropriate locations (e.g., Coyote Creek) proposed by a qualified restoration ecologist, subject to review and approval by the Town in consultation with its biological monitor.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>collected from source trees on site and planting adjacent to existing or constructed water courses where the water table is no more than three feet below the soil surface. Willow pole cuttings shall be collected from dormant donor plants between November and the first of February. Cuttings shall be a minimum of three to five feet long, three-quarters to two inches in diameter at the lower end, and consist of non-succulent stems. To distinguish the top from the bottom, the root end should be cut at an angle during collection, with the top end cut squarely. This will also facilitate inserting the cuttings into the ground. The cuttings shall be planted the same day they are collected, or, if necessary, stored for up to two nights. During interim storage, cuttings will be kept cool and moist, but not wet. Pole cuttings should be stuck into wet ground at least two feet deep.</p> <p><i>[Also included as CDP Condition IV.8]</i></p> <p>Mitigation Measure 3.55 #5c: The 2005 Rheem Valley Revegetation Plan provides for the planting and establishment of at least 243 1.5 gallon-sized native trees, as summarized in Table 3.55-3, above. The Plan provides detailed revegetation goals and objectives, conceptual design and typical planting seeding plans, schedule, site preparation, invasive species control, soil salvage, planting and seeding specifications, maintenance, monitoring methodologies, performance standards, reporting, contingency measures, and responsibilities and funding.</p>					

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>The Plan shall be modified by a qualified restoration ecologist to be consistent with the approved GDP/VTM Project and its Rheem Boulevard Visual Quality Exhibits; see Mitigation Measure 3.35 #4 and 3.55 #4b, with new trees limited to the lower Rheem valley and located so as not to eliminate open views from Rheem Boulevard, with some trees planted in Coyote Creek if necessary. All restoration trees and their locations shall be identified in the final landscape plan.</p> <p>Mitigation plantings shall be monitored for no less than five years following completion of plant installation or as otherwise specified in the permit conditions. Annual reports shall be submitted to the Town of Moraga, USACE, CDFG, and RWQCB. The survivorship of container and willow plantings shall be at least 60 percent by the third year and 75 percent by the fifth year. The health and vigor for the tree plantings <u>shall be at least two (good) at the end of the five-year monitoring period</u>, as described in the 2005 Plan.</p> <p>Implementation of the mitigation measures imposed is subject to agency review by resource agencies and, specifically, must meet the requirements and conditions of the CDFG and RWQCB.</p> <p>The Plan shall be reviewed by the Town biological monitor prior to submittal to the RWQCB, CDFG, and RWQCB for approval.</p> <p>The areas planted with native trees shall</p>					

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>be incorporated in the final landscape plan and mitigation implemented under the direction of a qualified restoration ecologist for the project.</p> <p>The Project Sponsor shall request formation of and the Town Council shall form a Geologic Hazard Abatement District (GHAD) for the project, as more fully set forth in Mitigation Measure 3.20 #5a. One GHAD responsibility shall be long-term management of wetlands.</p> <p>All areas planted with native trees, along with an appropriate upland buffer, shall be placed in a permanent conservation easement, or similar deed restriction, in favor of the Town or appropriate third party entity, preserved in perpetuity, and managed by the GHAD.</p> <p>Prior to the issuance of grading permits by the Town of Moraga, the Project Sponsor shall provide evidence of the required approvals from the CDFG and RWQCB. <i>[Also included as CDP Condition IV.9]</i></p>					
<p>Impact 3.55 #6. Loss of Native Trees on the East Slope: Trees located within the areas of disturbance and along the immediate edge of the limits of grading on the east side of the ridge for the 35 lot project in the Draft EIR were mapped and measured by the EIR team. Grading would encroach within the dripline of one mature valley oak at Lot 15. Additional tree impacts could result from grading on the east side of the ridge at Lot Numbers 15-18, 24, 25, and 29. This is a potentially significant impact.</p> <p>The lot numbers above are now Lots 7—9, 12</p>	<p>Mitigation Measure 3.55 #6a in the EIR is no longer necessary because Lot 7 in the GDP/VTM Project does not include the single mature valley oak described in the mitigation measure. <i>[Also included in CDP Condition IV.10]</i></p> <p>Mitigation Measure 3.55 #6b: A tree survey of all trees located within 50 feet of the limits of grading on the east side of the ridge shall be prepared by a qualified arborist. Trees shall be tallied as being directly impacted wherever grading</p>	<p>Prior to the approval of final grading plan, the Town of Moraga shall ensure it includes appropriate tree protection and replacement programs.</p>	<p>Town Engineer, and Town biological monitor.</p>	<p>Prior to approval of final grading plan.</p>		

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>additional tree surveys or mitigation measures are needed. Trees shall be tallied as being directly impacted wherever grading overlaps with a tree's dripline. Direct impacts to protected native trees shall be mitigated, per the recommendations of a qualified arborist and consistent with the applicable standards in Mitigation Measure 3.55 #5a. [Also included as Condition IV.11]</p>					
<p>Impact 3.55 #9. California Red-Legged Frog: As proposed in the 35 lot project, the construction of the eastern access road from Rheem Boulevard, and filling to stabilize Rheem Boulevard would result in direct impacts to the Rheem Boulevard drainage.</p> <p>The 2005 Wetland/Special Status Species Plan and the incorporated 2005 Rheem Valley Revegetation Plan shall be modified to be consistent with the 27 Lot Project and its Rheem Boulevard Visual Quality Mitigation Exhibits, as mitigated and more fully described in Impact 3.35 #4, and to reflect the fact that the GHAD formed by the Town Council will control and be responsible for long-term maintenance of the project open space, including any special status species habitat that may be present.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.55 #9a: As part of the Clean Water Act permitting process, the USACE must assess the potential for a project to have an adverse effect on endangered species. A general condition of the authorization from the USACE to fill wetlands is that the proposed activities would not jeopardize any listed species. The USACE has been provided a copy of the CRLF Site Assessment (Wood Biological Consulting and Rana Resources 2003a). The USACE has initiated consultation with the USFWS. Before work could proceed, a permit would be required from the USACE. The permit would include conditions of approval intended to ensure no "take" of CRLF would result. In addition to the mitigation measures outlined below, additional mitigation in the form of habitat preservation, creation and/or enhancement might be warranted, based on review by USFWS. Evidence that the Project Sponsor has complied with the requirements of these agencies shall be submitted to the Town of Moraga prior to issuance of any grading or building permits. [Also included as CDP Condition IV.12]</p>	<p>Prior to approval of final grading plan, Town of Moraga shall review the final Wetland/Special-Status Species Plan and Rheem Valley Revegetation Plan for compliance with mitigation measures.</p> <p>Evidence that the Project Sponsor has complied with the requirements of the USACE, RWQCB, CDFG, and USFWS shall be submitted to the Town of Moraga prior to issuance of final grading plan grading (verified on the final grading plan).</p> <p>Mitigation plantings shall be monitored for no less than five years following completion of plant installation and seeding. Annual reports shall be submitted to the Town of Moraga, USACE, CDFG</p>	<p>Town Engineer, Town biological monitor, resource agencies, and GHAD.</p>	<p>a) Prior to approval of final grading plan; b) prior to start of grading; and c) annually for five years.</p>		<p>143</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>Mitigation Measure 3.55 #9b: The 2005 Wetland/Special-Status Species Plan to offset impacts to potential CRLF dispersal habitat shall be modified by a qualified biologist to be consistent with the 27 Lot Project and the GDP/VTM Project and its Rheem Boulevard Visual Quality Mitigation Exhibits (as adjusted to be consistent with the GDP/VTM). The Plan shall be submitted to the USACE, RWQCB, CDFG, USFWS, and the Town of Moraga for review and approval. At a minimum, all measures outlined in the Plan, including implementation of the grazing management plan, and invasive species control, shall be implemented. Additional mitigation measures may be required by the regulatory agencies. The following measures shall be implemented as part of the final Wetland/Special-Status Species Plan::</p> <ol style="list-style-type: none"> 1. A total of approximately 162 acres of grassland, scrub and oak woodland shall be designated as a permanent conservation easement, or other suitable deed restriction, and conveyed to the Town of Moraga or a third-party entity approved by the Town, USFWS and CDFG for preservation in perpetuity; 2. Enhance suitable CRLF dispersal habitat in the Coyote Creek corridor by implementation of the grazing management plan described in 2005 Plan; 3. The eastern edge of the Coyote Creek 	<p>and RWCB.</p> <p>Preservation in perpetuity of jurisdictional wetlands and upland buffer, in a Conservation Easement, or similar deed restriction, in favor of the Town or appropriate third party entity, preserved in perpetuity and managed by GHAD.</p> <p>Confirm permanent funding through GHAD and verify the preconstruction biological surveys.</p> <p>Town Council shall be responsible for GHAD (see Mitigation Measure 3.20 #5a).</p> <p>A biological monitor shall be retained by the Town of Moraga and paid for by the Project Sponsor to review the necessary construction monitoring and the five-year mitigation monitoring by the Project Sponsor's biologist. The role of the biological monitor shall be to ensure the preservation of sensitive habitats and that</p>				<p>237</p> <p>238</p> <p>239</p> <p>240</p> <p>241</p> <p>242</p> <p>243</p> <p>244</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>corridor shall be protected from grazing by a permanent fence to exclude livestock from the channel banks;</p> <p>4. Existing springs within any areas proposed for grazing shall be fenced to exclude livestock. If access to water is required, water may be piped from the springs to water troughs outside of the enclosure fencing.</p> <p>5. Adaptive management shall be utilized to identify and respond to problems that arise and which threaten to degrade potential CRLF dispersal habitat;</p> <p>6. Signs shall be installed identifying the site as a sensitive habitat area;</p> <p>7. Habitats within the Conservation Easement shall be monitored in the spring and fall for no less than five years following installation of fencing;</p> <p>8. An education brochure shall be produced for future homeowners describing the purpose of the conservation easement and other mitigation measures, the species and habitats being protected, prohibited activities, and homeowner responsibilities;</p> <p>9. Monitoring of the average grass height shall be conducted one month after "green-up" following the first inch of rain. Around mid-March, and monthly thereafter, average grass height shall</p>	<p>individual animals are not harassed or harmed. The monitor shall be approved by the USFWS for any required handling of CRLF. The results of the monitoring shall be submitted in reports to the Town of Moraga, the USFWS and the CDFG.</p>				

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>be monitored to determine the residual dry matter level and timing of grazing cessation, adjusting grazing levels, or the need for supplemental feeding for no less than five years;</p> <p>10. Annual reports documenting observations made during monitoring visits shall be submitted to the USACE, RWQCB, CDFG, and USFWS, by the end of each calendar year for no less than five years;</p> <p>11. Prior to the issuance of grading permits by the Town of Moraga, the Project Sponsor shall provide evidence of the required approvals from all relevant regulatory agencies;</p> <p>12. At the end of the five-year monitoring period, the Project Sponsor shall coordinate with the Town of Moraga, USACE, USFWS, CDFG and RWQCB to determine if the success standards have been achieved. If the permit conditions have not been met, the agencies will identify the appropriate remedial measures. The Project Sponsor shall be responsible for completing all remedial measures and achieving sign-off from the agencies.</p> <p>13. The final Wetland/Special-Status Species Plan shall provide details of on-going monitoring and maintenance to be implemented in perpetuity, as part of the Open Space Management Plan.</p> <p>14. As more fully described in Mitigation</p>					

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>Measure 3.20 #5b, the Geologic Hazard Abatement District (GHAD) formed by the Town Council shall be responsible for the long-term management of the project open space, including special status species habitat that may be present. The GHAD shall have sufficient permanent funding for the estimated costs of the following functions: (a) monitoring and annual reporting, (b) weeding, trail maintenance, erosion control and repair, grazing management, and fence repair, and (c) a designated preserve manager to periodically visit the site and report to the District and the Town of Moraga. Funding sources for the GHAD may include seed money provided by the Project Sponsor, annual contributions from homeowners, and income from grazing leases. The actions of the GHAD in meeting its responsibilities, including the adequacy of permanent funding from the Project Sponsor and project homeowners, shall be subject to Town review, direction and control. All Town costs shall be paid by the GHAD. Alternatively, the Project Sponsor shall establish an endowment to provide for its maintenance and monitoring. No grading or building permits shall be issued by the Town until the funding sources has been agreed upon and secured.</p> <p><i>[Also included in CDP Condition IV.13]</i></p> <p>Mitigation Measure 3.55 #9c: Grading and filling of the Rheem Boulevard drainage could result in direct mortalities</p>					

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>of CRLF present during construction. Construction within the tributary should be initiated after the peak season of CRLF dispersal (after May 1). Pre-construction surveys by a qualified wildlife biologist shall be conducted no more than 48 hours prior to clearing and grubbing the site (e.g., two night surveys immediately prior to construction), or as otherwise required by the USFWS. If CRLF are encountered, work must cease immediately and the USFWS must be contacted for further instructions. If no CRLF are encountered, the site may be considered ready for construction. <i>[Also included in CDP Condition IV.13]</i></p>					185
	<p>Mitigation Measure 3.55 #9d: All grading in and around creeks and wetlands shall conform to permit conditions issued by USACE, CDFG, RWQCB, and USFWS, intended to preserve habitats, water quality, and avoid "take" of CRLF. <i>[Also included in CDP Condition IV.13]</i></p>					143
	<p>Mitigation Measure 3.55 #9e: Sensitive areas adjacent to but outside of the construction footprint shall be designated as such on construction plans, and shall be protected by orange construction fencing. <i>[Also included in CDP Condition IV.13]</i></p>					181
	<p>Mitigation Measure 3.55 #9f: Educational materials shall be prepared and provided to construction workers outlining measures to reduce or eliminate direct and indirect impacts to special-status species. Workers shall be required to sign a statement to the effect that they</p>					182
						190

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>have received the educational materials regarding special-status species and that they understand that they will be responsible for impacts that occur as a result of worker negligence. <i>[Also included in CDP Condition IV.13]</i></p>					
<p>Impact 3.55 #10. Direct impacts to Alameda Whipsnake: The project site is located within an area proposed as Critical Habitat for AWS (Unit 2). Grading and construction activities for the 35 lot project would result in direct impacts to grasslands and other habitats potentially supporting dispersing or foraging individuals of AWS. Although habitats present on site are not considered optimal for AWS breeding, individuals could move onto the site from the habitat known to support the species (i.e., Wilderness) Las Trampas Ridge Regional Open Space. Grading and construction on site could result in direct mortalities of AWS present at the time of construction. This is considered a potentially significant impact.</p> <p>The 2005 Wetland/Special-Status Species Plan shall be modified to be consistent with the GDP/VTM Project and its Rheem Boulevard Visual Quality Mitigation Exhibits, as mitigated, and to reflect the fact that the GHAD formed by the Town Council will control and be responsible for the project open space, including special status species habitat that may be present.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.55 #10a: As part of the Clean Water Act permitting process, the USACE must assess the potential for a project to have an adverse effect on endangered species. A general condition of the authorization from the USACE to fill wetlands is that the proposed activities would not jeopardize any listed species. The USACE shall be provided a copy of the AWS Site Assessment (Wood Biological Consulting and Rana Resources 2003b). The USACE has initiated consultation with the USFWS under Section 7 of the ESA. Before work could proceed, a permit is required from the USACE, and potentially the issuance of a Biological Opinion and/or incidental take permit by the USFWS. The permit and Biological Opinion will include conditions of approval intended to ensure no “take” of AWS would result. In addition to the mitigation measures outlined below, additional mitigation in the form of habitat preservation, creation and/or enhancement might be warranted, based on review by USFWS. Evidence that the Project Sponsor has complied with the requirements of these agencies shall be submitted to the Town of Moraga prior to issuance of any grading or building permits. <i>[Also included in CDP Condition IV.13]</i></p>	<p>Evidence that the Project Sponsor has complied with the requirements of the USACE, RWQCB, CDFG, and USFWS shall be submitted to the Town of Moraga prior to issuance of final grading plan (verified on the final grading plan).</p> <p>Confirm permanent funding through GHAD and verify the preconstruction biological surveys.</p> <p>Town Council shall be responsible for GHAD (see Mitigation Measure 3.20 #5a).</p> <p>A biological monitor shall be retained by the Town of Moraga and paid for by the Project Sponsor to review the necessary construction monitoring and the five-year mitigation monitoring by the Project Sponsor's biologist. The role of the biological monitor shall</p>	<p>Town Engineer, Town Biological Monitor, resource agencies, and GHAD.</p>	<p>a) Prior to approval of final grading plan; b) prior to start of grading; and c) annually for five years.</p>		<p>143</p> <p>198</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>Mitigation Measure 3.55 #10b: The 2005 Wetland/Special-Status Species Plan shall be modified to be consistent with the GDP/VTM Project and its Rheem Boulevard Visual Quality Mitigation Exhibits (as adjusted to be consistent with the GDP/VTM) and submitted to the USACE, RWQCB, CDFG, USFWS, and the Town of Moraga for review and approval. At a minimum, all measures outlined in the Plan, including implementation of the grazing management plan, and invasive species control, shall be implemented. Additional mitigation measures may be required by the regulatory agencies. The following measures shall be implemented:</p> <ol style="list-style-type: none"> 1. A total of approximately 162 acres of grassland, scrub and oak woodland shall be designated as a permanent conservation easement, and conveyed to a third-party entity approved by the USFWS and CDFG for preservation in perpetuity; 2. Enhance suitable AWS dispersal habitat by implementation of the grazing management plan described in Sycamore (2005b); 3. A minimum of eight rock piles covering 25 square feet and 3-4 feet in height shall be created using sandstone boulders salvaged on site during excavation; 4. Bare soil areas associated with the boulder placement sites shall be broadcast seeded using the native shrub and grassland mix described in 	<p>be to ensure the preservation of sensitive habitats and that individual animals are not harassed or harmed. The monitor shall be approved by the USFWS for any required handling of CRLF. The results of the monitoring shall be submitted in reports to the Town of Moraga, the USFWS and the CDFG.</p>				<p>237</p> <p>238</p> <p>239</p> <p>240</p> <p>241</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>Sycamore (2005b);</p> <ol style="list-style-type: none"> 5. Scrub habitat below the old ranch road shall be fenced with permanent fencing to exclude grazing livestock; 6. Existing springs within any areas proposed for grazing shall be fenced to exclude livestock. If access to water is required, water may be piped from the springs to water troughs outside of the enclosure fencing; 7. Adaptive management shall be utilized to identify and respond to problems that arise and which threaten to degrade potential AWS dispersal habitat; 8. Signs shall be installed identifying the site as a sensitive habitat area; 9. Habitats within the conservation easement shall be monitored in the spring and fall for no less than five years following installation of fencing and placement of boulder piles; 10. An education brochure shall be produced for future homeowners describing the purpose of the conservation easement and other mitigation measures, the species and habitats being protected, prohibited activities, and homeowner responsibilities; 11. Monitoring of the average grass height shall be conducted one month after "green-up" following the first inch of 					

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>rain. Around mid-March, and monthly thereafter, average grass height shall be monitored to determine the residual dry matter level and timing of grazing cessation, adjusting grazing levels, or the need for supplemental feeding for no less than five years;</p> <p>12. Annual reports shall be submitted to the USACE, RWQCB, CDFG, and USFWS, by the end of each calendar year for no less than five years;</p> <p>13. Prior to the issuance of grading permits by the Town of Moraga, the Project Sponsor shall provide evidence of the required approvals from all relevant regulatory agencies;</p> <p>14. At the end of the five-year monitoring period, the Project Sponsor shall coordinate with the USACE, USFWS, CDFG and RWQCB to determine if the success standards have been achieved. If the permit conditions have not been met, the agencies will identify the appropriate remedial measures. The Project Sponsor shall be responsible for completing all remedial measures and achieving sign-off from the agencies;</p> <p>15. The Plan shall provide details of on-going monitoring and maintenance to be implemented in perpetuity, as part of the Open Space Management Plan, as more fully described in Mitigation Measure 3.55 #9b, subsection 14. <i>[Also included in CDP Condition IV.14]</i></p>					

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	<p>Mitigation Measure 3.55 #10c: Brush clearing and grading could result in direct mortalities of AWS present during construction. Initial brush clearing and surface grading should be initiated after the peak season of AWS dispersal (after June 1). Pre-construction surveys by a qualified wildlife biologist shall be conducted no more than 24 hours prior to clearing and grubbing the site. If AWS should be encountered, the USFWS would be contacted for further instructions. If no AWS were encountered, the site could be considered ready for construction. A biologist shall be present to supervise brush removal until the site has been cleared of vegetation. The role of the biological monitor will be to ensure that no take of AWS occurs. The biological monitor shall also move other common wildlife species out of harm's way during removal of surface vegetation. Monthly construction monitoring reports shall be prepared by the biological monitor and submitted to the Town, USFWS, and CDFG. <i>[Also included as CDP Condition IV.15]</i></p>					186
	<p>Mitigation Measure 3.55 #10d: All grading and construction activities shall conform to permit conditions issued by USACE, CDFG, RWQCB, and USFWS, intended to preserve habitats and avoid "take" of AWS. <i>[Also included as CDP Condition IV.16]</i></p>					198
	<p>Mitigation Measure 3.55 #10e: Sensitive areas adjacent to but outside of the construction footprint shall be designated as such on construction plans, and shall</p>					182

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>construction activities may require commencement within one week of the survey or, at a maximum, within 30 days, as recommended by the wildlife biologist. The survey area shall include all large trees, grassland and scrub habitat within a 250-foot buffer zone of the limits of work. The purpose of pre-construction surveys is to determine if occupied nests are present within a reasonable area that would be subject to direct impacts or disruption during construction. <i>[Also included as CDP Condition IV.20]</i></p> <p>Mitigation Measure 3.55 #12c: If occupied migratory bird nests are detected, grading and construction in the area may continue only after the nests are protected by an adequate setback (in general, 50 feet for passerines and 250 feet for raptors), approved by a qualified biologist, in consultation with the CDFG, or after young birds have fledged. Nest sites may only be impacted after a qualified biologist has verified that migratory birds have either 1) not begun egg-laying and incubation, or 2) that the juveniles from those nests are foraging independently and capable of independent survival at an earlier date. <i>[Also included as CDP Condition IV.21]</i></p> <p>Mitigation Measure 3.55 #12d: Prior to removing oak trees and large snags, pre-construction surveys should be conducted to check for the presence of bats. A pre-construction survey for bats shall be conducted no more than 30 days prior to the removal of any large tree. The survey</p>	prior to the initiation of grading.				<p style="text-align: center;">189</p> <p style="text-align: center;">183</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>shall be conducted by a qualified wildlife biologist. If no evidence of bat roosting is identified during the pre-construction survey, then no impacts to bats would be expected to occur from tree removal. If evidence of bat roosting is identified, a focused survey by a qualified wildlife biologist shall be performed to determine the species present, number of individuals present, and their reproductive status. Appropriate mitigation measures shall be developed to protect roosting bats in consultation with the CDFG. <i>[Also included as CDP Condition IV.22]</i></p> <p>Mitigation Measure 3.55 #12e: The presence of any maternity sites shall be reported to the California Natural Diversity Database (CNDDDB). <i>[Also included as CDP Condition IV.23]</i></p>					189
<p>Impact 3.55 #13. Direct Impacts on Sensitive Plant Communities: During grading and construction of the 35 lot project, inadvertent impacts to sensitive habitats such as oak woodland, riparian woodland, wetlands, seeps, springs, and scrub habitat could result. Inadvertent impacts include accidental grading or vehicle traffic outside the proposed limits of grading, stockpiling earth or construction materials, toxic spills, and fugitive dust. This is a potentially significant impact.</p> <p>The mitigation is consistent with the recommended 27 Lot Project and the GDP/VTM Project and its Rheem Boulevard Visual Quality Mitigation Exhibits (as adjusted to be consistent with the GDP/VTM), as mitigated, and to reflect the fact that the GHAD formed by the Town</p>	<p>Mitigation Measure 3.55 #13a: All sensitive habitat areas to be avoided shall be clearly marked on project maps and provided to the contractor. These areas shall be designated as “no construction” or “limited construction” zones. These areas shall be flagged in the field, as approved by the project biologist, prior to the initiation of construction activities. In some cases, resources may need to be fenced or otherwise protected from direct or indirect impacts, as determined by the project biologist. Contractors shall be provided with copies of all state and federal permit conditions and shall be made aware of the consequences for non-compliance. <i>[Also included as CDP Condition IV.24]</i></p>	Town of Moraga shall review and approve final grading plan, its erosion control plan, and Drainage Plan.	Town Engineer, and Town biological monitor.	With final grading plan, its erosion control plan, and Drainage Plan, and during grading.		182

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>sedimentation. The effects of erosion can be decreased by collecting surface water runoff in desilting ponds before releasing the water into natural drainages. Erosion and sedimentation impacts can be further minimized by employing standard erosion control procedures such the use of sandbags, silt fences, hay bales, diversion ditches, desilting ponds, and undertaking stream bank stabilization procedures. Best Management Practices (BMPs) shall be in place during construction. All bare slopes shall be seeded with an appropriate seed mix to be reviewed and approved by a qualified restoration biologist.</p> <p><i>[Also included as CDP Condition IV.28]</i></p> <p>Mitigation Measure 3.55 #13f: Although there is little information on the effects of dust on plant life, there is some indication that excessive dust can reduce the overall vigor of some plant species by reducing their ability to photosynthesize and by increasing their susceptibility to pests or disease. While any noticeable adverse impact from dust would likely require long-term exposure, preventive measures shall be included in the construction documents for the project. Fugitive dust emissions caused by prolonged grading activities shall be mitigated by employing standard air quality control procedures as noted in Air Quality Mitigation Measure 3.45 #2.</p> <p><i>[Also included as CDP Condition 29]</i></p>					216
<p>Impact 3.55 #15. Degradation of Wildlife Habitats and Decrease in the Carrying Capacity for Wildlife and Special-Status Species: Project implementation would result</p>	<p>Mitigation Measure 3.55 #15a: A total of 162 acres of undeveloped land consisting of existing grasslands, oak woodland, intermittent channels, and seeps, would</p>	<p>See Monitoring Tasks for Mitigation Measures 3.55 #3, #9, #10 and #12.</p>	<p>Town Engineer, Town Biological</p>	<p>Prior to issuance of final</p>		237 238

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>in increased human activity in and access to currently undeveloped wildlife habitats. These habitats include sensitive wetlands, regionally valuable oak woodlands, scrub, and wildflower fields, which could potentially support special-status wildlife species such as California red-legged frog, Alameda whipsnake, and migratory birds. Although the 27 Lot Project and the GDP/VTM Project calls for the designation of 162 acres as permanently protected open space, without ecologically based management, the habitats could become degraded over time through benign neglect or abuse. Erosion, sedimentation of creeks, off-road vehicle activity, and invasive plant species could result in the permanent loss of the wildlife habitats that presently occupy the site. In addition, as homeowners move into the development, their personal interests and those of the HOA could change over time, and come into conflict with the stated goals of preserving these habitats for the benefit of wildlife, biological diversity, and, ultimately, the residents and citizens of the area. This is a potentially significant impact.</p> <p>The 2005 Wetland/Special-Status Species Plan will modified to be consistent with the GDP/VTM Project and its Rheem Boulevard Visual Quality Mitigation Exhibits (as adjusted to reflect the GDP/VTM), as mitigated, and to reflect the fact that the GHAD formed by the Town Council will control and be responsible for the project open space. This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>be designated as permanently preserved open space and placed into a conservation easement, appropriate deed restrictions, or as otherwise stipulated by the resource agencies. The 2005 Wetland/Special-Status Species Plan provides guidance on managing and monitoring preserved aquatic and upland habitat for special-status and common wildlife species. Details of the Plan and the required measures are outlined in Mitigation Measures 3.55 #9b and #10b, above. The Plan shall be modified to be consistent with the 27 Lot Project and its Rheem Boulevard Visual Quality Mitigation Exhibits. <i>[Also included as CDP Condition IV.30]</i></p> <p>Mitigation Measure 3.55 #15b: The Project Sponsor shall retain the responsibility for these activities as the permittee until final sign off by the regulatory agencies and the Town of Moraga, presumably after five years. <i>[Also included as CDP Condition IV.31]</i></p> <p>Mitigation Measure 3.55 #15c: The Wetland/Special-Status Species Plan shall provide details of on-going monitoring and maintenance to be implemented in perpetuity, and incorporated as part of the Open Space Management Plan, as more fully described in Mitigation Measure 3.55 #9b, subsection 14. <i>[Also included as CDP Condition IV.32]</i></p>		Monitor, resource agencies, and GHAD.	grading plan, during grading, and ongoing after construction.		<p>239</p> <p>240</p> <p>241</p> <p>242</p> <p>243</p> <p>244</p> <p>244</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>Impact 3.55 #16. California Red-Legged Frog Habitat: Increased human habitation adjacent to occupied CRLF habitat could result in an increase in CRLF predators such as raccoons and skunks, which are attracted to dwellings by unsecured trash and outdoor pet food dishes. This is a potentially significant impact.</p> <p>The 2005 Wetland/Special-Status Species Plan modified to be consistent with the 27 Lot Project and its Rheem Boulevard Visual Quality Mitigation Exhibits, as mitigated, and to reflect the fact that the GHAD formed by the Town Council will control and be responsible for the project open space.</p> <p>This potentially significant impact of the 27 Lot Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.55 #16a: An HOA or GHAD shall assume responsibility for ensuring proper management of secured waste receptacles. Future residents shall be provided with guidelines for safely co-existing with wildlife. Leaving pet food out-of-doors shall be prohibited, unless in a fully fenced kennel. In addition, trash receptacles shall have tight-fitting lids to discourage wildlife from using as forage. <i>[Also included as CDP Condition IV.34]</i></p> <p>Mitigation Measure 3.55 #16b: The 2005 Wetland/Special-Status Species Plan has been developed to provide guidance on managing and monitoring preserved aquatic and upland habitat for special-status, including CRLF. It shall be modified to be consistent with the GDP/VTM Project and its Rheem Boulevard Visual Quality Mitigation Exhibits (as adjusted to reflect the GDP/VTM Project). Details of the Plan and the required measures relative to CRLF are outlined in Mitigation Measures 3.55 #9b, above. <i>[Also included as CDP Condition IV.35]</i></p>	<p>The HOA and GHAD shall assume responsibility for ensuring proper management of secured waste receptacles. See Monitoring Task in Mitigation Measure 3.55 #9.</p>	<p>HOA and GHAD.</p>	<p>Ongoing after construction.</p>		<p>250</p> <p style="text-align: center;">\</p> <p>244</p>
<p>Impact 3.55 #17. Indirect Recreational Effects on California Red-Legged Frog: Recreational activities along the proposed realigned Rheem Boulevard drainage wetland area and trail system in the 35 lot project could contribute to the likelihood of an unauthorized "take" of CRLF individuals by residents and visitors. Harassment and predation by people and pets could become a serious problem, particularly where creeks and movement corridors border residential development and improved parks. The creation of ponds in the</p>	<p>Mitigation Measure 3.55 #17a: The proposed revegetation of the re-aligned Rheem Boulevard drainage shall not include the construction of perennial ponds or any year-round water features to avoid attracting CRLF. Mitigation habitats shall be consistent with those present on site currently, specifically, woody riparian, seasonal wetlands, and annual grasslands. Such habitats would continue to provide the same functions as those lost to construction. Dispersing CRLF</p>	<p>With approval of Rheem Valley Revegetation Plan, final grading plan and landscape plan, and final Wetland/Special-Status Species Plan.</p> <p>See Monitoring Tasks in Mitigation Measures 3.55 #3 and #9.</p>	<p>Town Engineer, Town Biological Monitor, resource agencies, and GHAD.</p>	<p>Prior to final grading plan approval, annually for five years, and ongoing by GHAD.</p>		<p>244</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>mitigation area could attract CRLF, placing them in danger of predation, especially if the ponds were to become colonized by bullfrogs or other predators such as bass or western mosquito fish. This is a potentially significant impact.</p> <p>The 2005 Wetland/Special-Status Species Plan will be modified to be consistent with the recommended GDP/VTM Project and its Rheem Boulevard Visual Quality Mitigation Exhibits, as mitigated, and to reflect the fact that the GHAD formed by the Town Council will control and be responsible for the project open space. This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>would not be inclined to remain on site, reducing the likelihood that individuals would be subject to predation. [Also included as CDP Condition IV.36]</p> <p>Mitigation Measure 3.55 #17b: The 2005 Special-Status Species Plan has been developed to provide guidance on managing and monitoring preserved aquatic and upland habitat for special-status, including CRLF. It shall be modified to be consistent with the GDP/VTM Project and its Rheem Boulevard Visual Quality Mitigation Exhibits (as adjusted to reflect the GDP/VTM Project).. Details of the Plan and the required measures relative to CRLF are outlined in Mitigation Measure 3.55 #9b, above. [Also included as CDP Condition IV.36]</p>					244
<p>Impact 3.55 #18. Indirect Impacts on California Red-Legged Frog Habitat: Grading and the intensification of human activities in the 35 lot project could result in the degradation of water quality in the Rheem Boulevard drainage, thereby resulting in an indirect loss of CRLF habitat. While grading associated with the proposed re-aligned Rheem Boulevard drainage would ultimately serve to improve habitat, it could also contribute to short-term sedimentation and temporary loss of potential dispersal routes for CRLF. This is considered a potentially significant impact.</p> <p>The mitigation is modified to be consistent with the 27 Lot Project and its Rheem Boulevard Visual Quality Mitigation Exhibits, as mitigated, and to reflect the fact that the GHAD formed by the Town Council will control and be</p>	<p>Mitigation Measure 3.55 #18: Grading and filling of the Rheem Boulevard drainage could result in short-term sedimentation and temporary loss of potential dispersal routes for CRLF. Appropriate sedimentation controls must be designed, installed, and maintained during construction to prevent the accumulation of sediment in the tributary downstream of the construction site. Grading shall be performed outside of the peak season of CRLF dispersal to reduce the likelihood of individuals migrating into the construction area. The optimal season for grading corresponds with the driest months of the year, before the onset of fall or winter rains. Periodic monitoring shall be performed by a qualified wildlife biologist, as required in permit conditions.</p>	<p>With approval of Rheem Valley Revegetation Plan, final grading plan and landscape plan, and final Wetland/Special-Status Species Plan.</p> <p>See Monitoring Tasks in Mitigation Measures 3.55 #3 and #9.</p>	<p>Town Engineer, and Town biological monitor, resource agencies, and GHAD.</p>	<p>Prior to issuance of final grading plan, its erosion control plan and Drainage Plan, and during grading until its completion.</p>		185

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>responsible for the project open space.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>A silt fence and construction fence barrier shall be erected around the site to prevent construction workers from straying outside the construction site and preventing frogs from potentially accessing the site. The fence shall be monitored weekly by a qualified wildlife biologist to make sure it is properly maintained. Additional permit conditions by the resource agencies could be imposed on the project. <i>[Also included as CDP Condition IV.37]</i></p>					
<p>Impact 3.55 #19. Indirect Effects on Alameda Whipsnake: Intensification of proposed residential use and human activity, and the associated degradation of upland habitats in the 35 lot project could cause indirect loss of AWS, occupied habitat, or suitable habitat unless protective measures are implemented and adequate mitigation is provided.</p> <p>The mitigation is consistent with the 27 Lot Project and the GDP/VTM Project and its Rheem Boulevard Visual Quality Mitigation Exhibits, as mitigated, and to reflect the fact that the GHAD formed by the Town Council will control and be responsible for the project open space. This potentially significant impact of the 27 Lot Project and the GDP/VTM project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.55 #19: The proposed revegetation of the re-aligned Rheem Boulevard drainage shall not include the construction of perennial ponds or any year-round water features, which would attract tree frogs or other AWS prey species. Mitigation habitats shall be consistent with those present on site currently, specifically, woody riparian, seasonal wetlands, and annual grasslands. Such habitats would continue to provide the same functions as those lost to construction. Dispersing AWS individuals would not be inclined to remain, reducing the likelihood that individuals would be more subject to predation. <i>[Also included in CDP Condition IV.38]</i></p>	<p>With approval of Rheem Valley Revegetation Plan, final grading plan and landscape plan, and final Wetland/Special-Status Species Plan.</p> <p>See Monitoring Tasks in Mitigation Measures 3.55 #10.</p>	<p>Town Engineer, and Town biological monitor, resource agencies, and GHAD.</p>	<p>Prior to final grading plan approval, annually for five years, and ongoing by GHAD.</p>		244
<p>Impact 3.55 #20. Recreational Impacts to Alameda Whipsnake: Recreational uses along the proposed wetland area and trail system in the 35 lot project could contribute to the likelihood of an unauthorized "take" of AWS individuals by residents and visitors.</p>	<p>Mitigation Measure 3.55 #20a: The proposed revegetation of the re-aligned Rheem Boulevard drainage shall not include the construction of perennial ponds or any year-round water features, which would attract tree frogs or other</p>	<p>With approval of Rheem Valley Revegetation Plan, final grading plan and landscape plan, and final Wetland/Special-Status Species Plan.</p>	<p>Town Engineer, Town biological monitor, resource</p>	<p>Prior to final grading plan approval, annually</p>		244

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>Harassment and predation by children and pets could become a serious problem, particularly where the creeks and movement corridors border residential development and improved parks. The creation of ponds in the mitigation area could attract AWS, placing them in danger of harm by visitors or pets. This is considered a potentially significant impact.</p> <p>The mitigation is modified to be consistent with the 27 Lot Project and its Rheem Boulevard Visual Quality Mitigation Exhibits, as mitigated, and to reflect the fact that the GHAD formed by the Town Council will control and be responsible for the project open space.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>AWS prey species. Mitigation habitats shall be consistent with those present on site currently, specifically, woody riparian, seasonal wetlands, and annual grasslands. Such habitats would continue to provide the same functions as those lost to construction. Dispersing AWS individuals would not be inclined to remain, reducing the likelihood that individuals would be more subject to predation.</p> <p>Creation of rock piles for AWS shall not be located near any high activity areas such as trail heads to lessen the chance of disturbance by humans. <i>[Also included in CDP Condition IV.38]</i></p> <p>Mitigation Measure 3.55 #20b: The 2005 Wetland/Special-Status Species Plan provides guidance on managing and monitoring preserved aquatic and upland habitat for special-status and common wildlife species (see Mitigation Measures 3.55 #9b and #10b). The Plan shall be modified to be consistent with the GDP/VTM Project and its Rheem Boulevard Visual and Quality Mitigation Exhibits (as adjusted to reflect the GDP/VTM Project).. <i>[Included in CDP Condition IV.38]</i></p>	<p>See Monitoring Tasks in Mitigation Measures 3.55 #10.</p>	<p>agencies, and GHAD.</p>	<p>for five years, and ongoing by GHAD.</p>		
<p>Impact 3.55 #21. Recreational Impacts to Wildlife and Wildlife Habitat: It is the desire of the Town to provide a trail link between the Lafayette-Moraga Regional Trail through the Coyote Creek canyon and across the Palos Colorados project site to connect to Moraga Road. However, a trail system through this protected open space could increase the effects</p>	<p>Mitigation Measure 3.55 #21a: The 2005 Wetland/Special-Status Species Plan has been developed provides guidance on managing and monitoring preserved aquatic and upland habitat for special-status and common wildlife species (see Mitigation Measures 3.55 #9b and #10b). The Plan shall be modified to be</p>	<p>Town of Moraga approval of Open Space Management Plan and final Wetland/Special-Status Species Plan. See Monitoring Tasks in</p>	<p>Town Council, Town Engineer Planning Department, and ongoing by GHAD.</p>	<p>Prior to approval of final grading plan, annually for five</p>		<p>239</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>of increased human activity and access to sensitive habitats. Introduction of pets and off-trail travel by pedestrians, bicycles, and horses could result in harassment and accidental mortalities of wildlife, as well as inhibition of wildlife activity and utilization of the preserved open space, in conflict with the stated goals of Town of Moraga General Plan. This is considered a potentially significant impact.</p> <p>The mitigation is modified to be consistent with the recommended 27 Lot Project and its Rheem Boulevard Visual Quality Mitigation Exhibits, as mitigated, and to reflect the fact that the GHAD formed by the Town Council will control and be responsible for the project open space.</p> <p>This potentially significant impact of the 27 Lot Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>consistent with the GDP/VTM Project and its Rheem Boulevard Visual and Quality Mitigation Exhibits (as adjusted to reflect the GDP/VTM Project). The Open Space Management Plan shall include trail management that addresses this impact. <i>[Also included in CDP Condition II.12].</i></p> <p>Mitigation Measure 3.55 #21b: In order to minimize potential human impacts and preserve and enhance the existing habitats on site for wildlife, the proposed trail system (not including the path on Rheem Boulevard) shall be reoriented to be consistent with the of a single, unimproved dirt trails described in Mitigation Measure 3.35 #6. Imported substrate, such as decomposed granite or wood chips, shall not be used. Trail width shall not exceed three feet.</p> <p>Encroachments (e.g., paths, view points) leading from the trail into the riparian corridor within Coyote Creek shall be avoided. Trailheads at both ends shall be marked and stipulate that pets must be leashed, that bicycles are prohibited, and that off-trail foot travel is prohibited. No trash cans shall be provided as they can become attractive nuisances for wildlife and require increased human activity. <i>[Also included in CDP Condition II.12]</i></p>	Mitigation Measure 3.55 # 3.		years, and ongoing by GHAD.		<p style="text-align: center;">90</p> <p style="text-align: center;">91</p>
<p>Impact 3.55 #22. Invasive Species: Grading and backfilling creates bare ground that can be colonized by invasive non-native plant species, potentially contributing to their spread. Invasive non-native species may compete with native species, particularly when the work area is at</p>	<p>Mitigation Measure 3.55 #22a: Invasive non-native plant species known to invade wetlands and natural areas, as described in Table 3.55-4, shall not be used in either the subdivision or individual lot landscaping. Under no circumstances</p>	Use of such species shall be expressly prohibited via a deed restriction and enforced by the HOA and Town for individual homes and by the GHAD and	Town Engineer, Town biological monitor, HOA, and GHAD.	Prior to Open Space Management Plan and final		<p style="text-align: center;">210</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>the interface with undeveloped hillsides and along riparian corridors. In addition, proposed landscaping of the development would likely include the use of both non-native and native species used in ornamental plantings, including a variety of trees, shrubs and groundcover. Non-native ornamentals can compete with native species in open space areas, particularly if highly invasive species are planted near the interface with undeveloped hillsides or along riparian corridors. Landscaping associated with the project could result in the introduction of invasive non-native plants that could colonize wetlands and open space areas, displacing desired native species. This is a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>shall the revegetation of graded or filled areas include any species appearing on the California Invasive Plant Council's Invasive Plant Inventory (available at http://www.cal-ipc.org/pest_plant_list/). A deed restriction to this effect shall be included on each lot prior to the recordation of the final subdivision map and its enforcement monitored and controlled by the HOA and GHAD. [Also included as CDP Condition III.6]</p> <p>Mitigation Measure 3.55 #22b: The 2005 Wetland/Special-Status Species Plan outlines measures to eradicate the existing infestation of artichoke thistle throughout the site, including the Conservation Easement or other appropriate deed restriction. The Plan also includes a grazing management plan intended to prevent over-grazing of the open space, which would aid in the control of detrimental invasive species. The measures outlined in the final Plan shall be paid for and administered by the GHAD and confirmed in reports submitted to the Town by the ecologist monitor. [Also included as CDP Condition IV.39]</p> <p>Mitigation Measure 3.55 #22c: All disturbed areas shall be visited by the restoration ecologist after one rainy season has passed since seeding. Site visits should be made during the spring, and each site shall be visited at least once. Sites shall be monitored for the revegetation. Sites that fail to show suitable vegetative cover shall be noted and mapped, and shall be re-seeded in the fall. The restoration ecologist shall</p>	<p>Town Council for open space. Incorporate mitigation in Open Space Management Plan.</p> <p>Monitoring of on-site management shall be the responsibility of the Project Sponsor with ongoing monitoring via annual reported submitted to the Town as called for in the Conservation Easement.</p> <p>Ongoing monitoring by the restoration ecologist for one rainy season after seeding with a report to the Town of Moraga.</p>		<p>grading plan approval, for one year after one rainy season after seeding, and ongoing by HOA and GHAD.</p>		<p>35</p> <p>242</p> <p>211</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>make notes on the occurrence of particularly noxious non-native plant species, and make recommendations for their eradication.</p> <p><i>[Also included in CDP Condition IX.1]</i></p>					
<p>Impact 3.55 #23. Habitat Loss and Fragmentation: Implementation of the 35 lot project would result in the permanent loss of 0.65 acres of riparian habitat and 27.89 acres of non-native annual grassland, as well as the potential degradation of habitat values of adjacent habitats by increased human activity including traffic, night lighting, noise, run-off containing noxious chemicals, increased risk of wildfires, and trampling. These plant communities provide suitable foraging, resting, and cover habitats and other benefits for a variety of native wildlife. The loss of and degradation to this habitat could potentially decrease local native biodiversity by decreasing the availability of these wildlife resources and could fragment existing communities. This is a potentially significant impact.</p> <p>With the 27 Lot Project, the development areas are reduced to 20 acres and the open space increased to 160 acres. Wetland impacts are reduced. A GHAD approved and controlled by the Town of Moraga will manage the open space and fund that cost in perpetuity.</p> <p>This potentially significant impact of the 27 Lot Project is less than with the 35 lot project because more contiguous open space is provided, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.55 #23a: The remaining natural habitat (approximately 90% of the project area) shall be preserved in a Conservation Easement (or other appropriate deed restriction) as open space publicly managed and preserved by the GHAD open space. The form of the Conservation Easement shall be approved concurrent with approval of the Precise Development Plan, and recorded with the Final Subdivision Map.</p> <p><i>[Also included in CDP Condition II.7]</i></p> <p>Mitigation Measure 3.55 #23b: In order to prevent the incremental degradation of preserved habitats, the following measures shall be followed:</p> <p>a. All areas not proposed for development shall be protected from construction disturbance and left in existing vegetation. Construction fencing shall be installed to delineate the areas subject to disturbance and to protect native vegetation outside the limits of grading;</p> <p>b. Soil and other debris shall not be stockpiled in areas designated as preserved open space or for conservation;</p> <p>c. Security night lighting shall be minimized by facing lights (street lamps,</p>	<p>Approval of Open Space Management Plan and its Fire Protection Plan, Wetland/Special-Status Species Plan, and Rheem Valley Revegetation Plan and final grading plan.</p> <p>See Monitoring Tasks in Mitigation Measure 3.55 #3.</p>	<p>Town Council, Town Engineer, Town biological monitor, Fire Marshall, and ongoing by GHAD.</p>	<p>Town Council, Town Engineer, Town biological monitor, Fire Marshall, and ongoing by GHAD.</p>		<p>92</p> <p>93</p> <p>1741</p> <p>172</p> <p>173</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>parking lights, etc.) toward developed portions of the project and not toward native wildlife habitat or open space areas (construction hours shall be limited to 8AM to 5PM);</p> <p>d. Habitats within the conservation easement shall be managed according to the final Wetland/Special-Status Species Plan and Open Space Management Plan and summarized in Mitigation Measure 3.55 #9b and #10b. The Plans shall be consistent with the 27 Lot Project and its Rheem Boulevard Visual and Quality Mitigation Exhibits.</p> <p>e. Human encroachment and predation by domestic pets shall be minimized by the designation of trail access, informative signage regarding the sensitive nature of the native habitats and wildlife, homeowner education, and restrictions on pet access. <i>[Also included as CDP Condition II.13]</i></p>					<p style="text-align: center;">244</p> <p style="text-align: center;">239</p>
<p>Impact 3.55 #24. Interruption to and Loss of Wildlife Movement Corridors: The staging area along Rheem Boulevard in the 35 lot project in the Draft EIR is relatively isolated and somewhat discontinuous from the rest of the open space. Terrestrial wildlife might have difficulty moving through this portion of the site. However, project implementation is not considered to result in the creation of any significant barriers to wildlife movement. The position of the residential development on the ridgeline might disrupt raptor and mammal foraging patterns in the immediate area. However, terrestrial and volant wildlife would be able to continue to utilize open space present</p>	<p>Mitigation Measure 3.55 #24a: Habitat lost to accommodate the proposed stabilization of Rheem Boulevard and to provide access to the proposed development will be mitigated by the recreation of similar habitats at the same location, as specified in the 2005 Rheem Valley Revegetation Plan for re-aligned Rheem Boulevard drainage. The Plan will be modified to be consistent with the GDP/VTM Project and its Rheem Boulevard Visual Quality Mitigation Exhibit (as adjusted to reflect the GDP/VTM Project, including the elimination of the lower Rheem valley</p>	<p>Approval of Open Space Management Plan and its Fire Protection Plan, Wetland/Special-Status Species Plan, Rheem Valley Revegetation Plan, and final grading plan.</p> <p>See Monitoring Tasks in Mitigation Measure 3.55 #3.</p>	<p>Town Council, Town Engineer, Town biological monitor, Fire Marshall, and ongoing by GHAD.</p>	<p>Town Council, Town Engineer, Town biological monitor, Fire Marshall, and ongoing by GHAD.</p>		<p style="text-align: center;">240</p> <p style="text-align: center;">245f (3.55#24a)</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>surrounding the residential units. Project implementation is not considered likely to result in a significant restriction of movement of wildlife.</p> <p>The Rheem Boulevard drainage would be substantially altered to accommodate construction of an access road, and as a result of proposed filling to stabilize Rheem Boulevard. Approximately 2,042 linear feet of creek channel and 0.65 acre of associated riparian vegetation would be impacted with the 35 lot project. While the drainage and associated vegetation have value to wildlife, the tributary is not expected to currently function as an important wildlife connection between Las Trampas Creek and upland habitats on site or to the north. Nonetheless, the loss of mature woody riparian vegetation could disrupt wildlife movement out of the Las Trampas Creek corridor into the upper reaches of the tributary only. In addition, the proposed fill would result in a very steep gradient between the habitat restoration area and undisturbed riparian habitat downstream. The "A" Way crossing of the Rheem Boulevard drainage should not be a buried culvert. Installation of a buried culvert would represent an additional impediment to wildlife movement in the creek corridor. This is a potentially significant impact</p> <p>In the 27 Lot Project and the GDP/VTM Project the lower Rheem valley is not developed. An arch culvert that spans the intermittent drainage channel is provided for the "A" Way crossing. The staging area at Rheem Boulevard has been eliminated. This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is less than with the 35 lot project, and the mitigation will still reduce the impact to less</p>	<p>buttress and the 'A' Way crossing). The Plan is subject to the review and adjustment by a qualified restoration ecologist required in Mitigation Measure 3.55 #4b. <i>[Also included in CDP Condition II.14]</i></p> <p>Mitigation Measure 3.55 #24b: Final grading plans showing the interface between the fill area and the existing channel grade downstream shall consider and remediate the potential for disruption of wildlife movement along the Rheem Boulevard drainage corridor. <i>[Also included as CDP Condition IV.40]</i></p>					158

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
than significant.						
<p>Impact 3.55 #25. Indirect Impacts of Domestic Animals On Wildlife: Implementation of the 35 lot project would result in an increase of domestic animals, which could result in impacts to special-status species and common wildlife species in preserved open space. Potential impacts to both special-status and common wildlife species from the anticipated increase of domestic animals include predation on wildlife, disturbance to wildlife, and disruption of wildlife breeding. This is a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.55 #25: The Project Sponsor shall prepare CC&Rs that shall prohibit unleashed pets outside of the owner's private property (e.g., within areas held in conservation easement or in open space). Signs shall be posted at the edges of open space areas identifying the areas as sensitive wildlife habitat and stating that leash laws are enforced by the HOA, GHAD, Contra Costa Animal Control, and the Moraga Police Department. This prohibition shall enforceable by the HOA, GHAD and Town. <i>[Also included as CDP Condition V.9]</i></p>	<p>Town Attorney shall approve CC&Rs.</p> <p>The HOA or GHAD shall be responsible for maintaining signs.</p>	<p>HOA, GHAD, Contra Costa Animal Control, and Moraga Police Department.</p>	<p>Approval of CC&Rs prior to final subdivision map approval.</p> <p>Ongoing by HOA and GHAD.</p>		97
<p>Impact 3.55 #26. Grading Impacts: Grading of hillsides in the 35 lot project would result in the temporary loss of vegetative cover and could contribute to the degradation of upland habitats and downstream water quality. Grading of hillsides could lead to erosion, degrading water quality by the resulting in sedimentation of Coyote Creek and the Rheem Boulevard drainage. This is a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.55 #26a: Erosion and sedimentation impacts shall be minimized by employing standard erosion control procedures such the use of sandbags, silt fences, hay bales, diversion ditches, desilting ponds, and undertaking stream bank stabilization procedures. Best Management Practices shall be in place during construction. All bare slopes shall be seeded with an appropriate seed mix to be reviewed and approved by a qualified restoration biologist. <i>[Also included as CDP Condition IV.41]</i></p> <p>Mitigation Measure 3.55 #26b: Upon completion of surface disturbances, bare</p>	<p>Town of Moraga shall review and approve final grading plan, its erosion control plan, and Drainage Plan.</p>	<p>Town Engineer.</p>	<p>With final grading plan, its erosion control plan, and Drainage Plan, and during grading.</p>		219 210

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>ground shall be seeded with a mixture of native species indigenous to the geographic region including native perennial grasses to increase the diversity of the grassland cove prior to the onset of fall rains. Highly invasive annuals often included in commercial erosion control mixes shall not be used. The proposed erosion control seed mix shall be reviewed and approved by a qualified restoration ecologist. Under no circumstances shall the revegetation effort include any species appearing on the California Invasive Plant Council's Invasive Plant Inventory (available at http://www.cal-ipc.org/pest_plant_list/) [Also included as CDP Condition IV.42]</p>					
<p>Impact 3.55 #29. Pollutants: The use of fertilizers, herbicides, pesticides and other chemicals as well as urban runoff from streets and driveways could pollute Coyote Creek, the Rheem Boulevard drainage, and Las Trampas Creek. Runoff from residences and paved surfaces could contaminate downstream aquatic habitats. Pollutant runoff lowers water quality, adversely affecting aquatic invertebrates, amphibians, other aquatic wildlife and foraging mammals and birds. This represents a potentially significant indirect effect of the proposed project. This is a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.55 #29: The Project Sponsor shall incorporate Best Management Practices (BMPs) into the project design to minimize incremental contamination of downstream aquatic habitats. Specific measures addressing erosion and sedimentation, non-point source pollution, and peak runoff volumes will be required under Contra Costa County's C3 requirements and by the RWQCB as a condition of issuance of a water quality certification, pursuant to Section 401 of the Clean Water Act. (See 3.30, Hydrology and Drainage and Water Quality Mitigation Measure 3.30 #3.) [Also included in CDP Condition IV.43]</p>	<p>Prior to approval of any construction permit, Town of Moraga and the RWQCB shall review and approve plans for incorporation of BMPs. Approvals include final grading plan, its erosion control plan, and Drainage Plan.</p>	<p>Town Engineer.</p>	<p>Prior to approval of any construction permit.</p>		<p>137 214</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>Impact 3.55 #30. Long-Term Adverse Effects on Native Oak Trees: Standard landscaping designs and irrigation practices can be detrimental to the health of mature oak trees. Native oaks, which are adapted to long, dry summers, can be adversely affected by summer time irrigation of lawns and ornamental landscaping. Landscaping design can result in mortalities of mature oak trees. This is a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.55 #30: Mature native oaks shall be protected in the planning area, and disturbance within the tree drip line minimized, to the maximum extent feasible. Any incidental tree impacts shall be mitigated for as outlined above. Mature native oaks shall be protected from disturbance through restrictions on siting of structures and landscaping on each lot. Plans for house and landscape improvements shall be reviewed by a certified arborist to ensure that oaks are adequately protected and their long-term health not compromised. <i>[Also included in CDP Condition IV.44]</i></p>	<p>Town of Moraga shall review and approve both final grading plan and landscape plan for subdivision and individual lot grading and landscape plans.</p>	<p>Town Engineer, and Planning Department.</p>	<p>Prior to approval of final grading plan and final landscape plans for subdivision and lots.</p>		<p>9.k</p>
<p>Impact 3.55 #31. Impacts to Semaphore Grass Floating Water Primrose and Davy Mannagrass: Proposed grading would impact a single population each of semaphore grass, floating water primrose and Davy mannagrass, regionally significant species as identified in Lake (2004). The presence of these species at the project site represents unique resources. This is a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.55 #31: The preferred mitigation measure is to avoid impacts to populations populations of semaphore grass, floating water primrose and Davy mannagrass, regionally significant species as identified in Lake (2004). However, it is not known to what degree grading in the vicinity of the population would affect its long-term viability. Because grading is part of a larger slope stabilization effort, merely avoiding direct impacts are not likely to ensure their survival. Nonetheless, the first goal should be avoidance. Therefore, the Project Sponsor shall investigate the feasibility of avoiding <i>these</i> populations <u>and</u> maintaining the hydrologic conditions that support <i>them</i>.</p> <ul style="list-style-type: none"> the population sizes shall be estimated during the spring when plants are in flower and readily identifiable; 	<p>Review final Rheem Valley Revegetation Plan and final grading plan, Town of Moraga for compliance with mitigation measure.</p> <p>Mitigation plantings shall be monitored for no less than three years following completion of plant installation and seeding or as otherwise required by the CDFG.</p> <p>Annual reports during monitoring shall be submitted by qualified biologist to Town of Moraga and CDFG, and USACE and RWCB if a condition of their permits.</p>	<p>Town Engineer, Town biological monitor, resource agencies, and GHAD.</p>	<p>Prior to approval of final grading plan, during grading and ongoing after construction.</p>		<p>247</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<ul style="list-style-type: none"> • it shall be determined if plants of <i>semaphore grass</i> on site are annuals or perennials; • seeds shall be collected <i>from all three species</i> and stored for subsequent sowing the following fall; • if determined to be perennial, plants of <i>semaphore grass</i> shall be salvaged and grown in containers for subsequent transplantation during the following winter; • <i>plants of the perennial species Davy mangrass and floating water primrose shall be salvaged and grown in containers for subsequent transplantation during the following winter;</i> • seeds (and plants) shall be transferred to the existing wetland below lots 15-18, or other suitable <i>locations</i> on site; and, • specific methods for preparing the site, sowing, planting, and monitoring shall be prepared and submitted to the CDFG for review and approval as part of the Streambed Alteration Agreement. The mitigation plan shall include success standards and remedial measures that must be performed in the event the success standards are not met. [Also included as CDP Condition IV.45] 	<p>Preservation in perpetuity of any on-site mitigation areas, and upland buffer, in a Conservation Easement, or similar deed restriction, in favor of the Town or appropriate third party entity, preserved in perpetuity and managed by GHAD.</p> <p>Town Council shall be responsible for GHAD (see Mitigation Measure 3.20 #5a).</p>				
<p>Impact 3.55 #32. Off-Road Vehicle Activity: Improved access to the hillsides of the planning area could result in off-road vehicle activity through undeveloped land and designated open</p>	<p>Mitigation Measure 3.55 #32: Physical barriers shall be installed by the Project Sponsor to prevent vehicles and motorcycles from traveling off designated</p>	<p>The GHAD and the HOA shall be responsible for maintaining barriers, reporting violators, and</p>	<p>GHAD, HOA and Moraga Police Department.</p>	<p>Ongoing.</p>		<p>98</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>space, particularly during the construction phase of specific developments. Off-road vehicle activity could degrade sensitive habitats, disturb wildlife, and contribute to erosion of hillside areas and sedimentation in creeks. This is a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>roadways to minimize future disturbance to grassland cover and other vegetation in the surrounding undeveloped lands and open space. The HOA and GHAD shall be responsible for their maintenance and monitoring. <i>[Also included as CDP Condition V.10]</i></p>	<p>repairing damage. Enforcement shall be the Moraga Police Department.</p>				
<p>Impact 3.55 #33. Long-Term Degradation of Open Space and Conserved Habitats: With project implementation, surrounding open spaces would need to be managed to prevent wildfires. Open space management strictly for fire control is frequently contrary to the ecological requirements of the habitats being preserved. Unmanaged grazing can reduce the risk of fire but can also result in the degradation of upland and aquatic habitats, reduced wildlife habitat values, and reduced water quality.</p> <p>The mitigation is modified to be consistent with the 27 Lot Project and its Rheem Boulevard Visual Quality Mitigation Exhibits, as mitigated, and to reflect the fact that the GHAD formed by the Town Council will control and be responsible for the project open space.</p> <p>This potentially significant impact of the 27 Lot Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.55 #33: To ensure that open space lands are managed in an ecologically appropriate manner, the 2005 Wetland/Special-Status Species Plan has been developed. The Plan includes a grazing management plan intended to prevent over-grazing of the Conservation Easement or deed restricted lands, and a Fire Protection Plan. The measures outlined in the Plan shall be paid for and administered by the GHAD. The Plan will be modified to be consistent with the GDP/VTM Project and its Rheem Boulevard Visual and Quality Mitigation Exhibits (as adjusted to reflect the GDP/VTM Project). Proper implementation of these measures shall be documented by the qualified biological and fire protection monitors for the GHAD and confirmed in reports submitted to the Town. As stated in Mitigation Measures 3.55 #9b and #10b, funding shall be provided to ensure the long-term management and maintenance of the conservation area. <i>[Also included as CDP Condition VI.2]</i></p>	<p>The Town of Moraga shall review and approve the GHAD, Open Space Management Plan, final Wetland/Special-Status Species Plan, and Fire Protection Plan prior to approval of final grading plan and any activity within the open space areas. The Plans shall comply with permit conditions prepared by the USACE, RWQCB, and CDFG, in consultation with the USFWS. The Moraga-Orinda Fire District shall review the Open Space Management Plan for consistency with local fire control guidelines and Fire Protection Plan (see Mitigation Measure 3.61 #1).</p> <p>Town of Moraga shall be</p>	<p>Town Engineer, Town biological monitor, resource, Moraga-Orinda Fire District, and GHAD.</p>	<p>Prior to final grading plan approval, any activity within the open space areas and ongoing.</p>		<p>237 238 239 240 241 242 243 244 245</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
		<p>copied all agency communications related to construction monitoring and compliance with permit conditions.</p> <p>See Monitoring Tasks in Mitigation Measure #3.</p>				
3.61 FIRE PROTECTION						
<p>Impact 3.61 #1. Wildland Fires: Much of the project site and the surrounding area include open and wooded grasslands. The location of residential units in the 35 lot project adjacent to undeveloped grasslands could increase the chance of wildland fires spreading to houses and house fires spreading into the wildland. The 35 lot project includes two paved accesses and one emergency access that meet Fire Code standards (project plans show residential streets at 32' wide). The hazard associated with a possible wildland fire adjacent to residential units would be considered a potentially significant project impact.</p> <p>The EVA and private roads and their grading sections on Sheet 2 of the August, 2008 Preliminary Grading Plan were presented to the Planning Commission at its hearing on May 18, 2008, having been previously reviewed and accepted by the Town Engineer. The sections are consistent with the standards provided by the Fire Marshall for the Moraga-Orinda Fire District. The final design in the subdivision improvement plans is subject to Town Engineer and Fire Marshall review and approval. See Internal Circulation Impact and Mitigation Measure 3.40 #5</p>	<p>Mitigation Measure 3.61 #1: A Fire Protection Plan shall be included as part of the Open Space Management Plan. The following measures (identified by the Fire District) will reduce the risk of wildland fires and should be incorporated in the Fire Protection Plan:</p> <ol style="list-style-type: none"> Maximum grade for an emergency access road shall not exceed 20 percent. Emergency vehicle access (EVA) shall meet the requirements for fire department access as indicated in the Fire Code (minimum width of 20 feet with an all-weather road surface capable of supporting the imposed weight of fire department apparatus). The Fire District shall reserve the right to review the development plan as it relates to the existing fire trail system. Firefighting equipment access shall be provided to all areas of the project site in accordance with fire access standards of the Fire District and the adopted Uniform Fire Code and the time of project approval. 	<p>Approval of Fire Protection Plan by Town of Moraga as part of Open Space Management Plan.</p> <p>Moraga-Orinda Fire District review of the subdivision improvement plans and periodic site inspection of the subdivision and the individual lots by the MOFD.</p> <p>Maintenance of the Fire Protection Plan shall be the responsibility of the GHAD as to open space and HOA as to homes. An annual inspection report for compliance shall be submitted to the Fire Marshal for approval.</p>	<p>Town Engineer, Fire Marshall, Town Council, and ongoing for GHAD (open space) and HOA (homes).</p>	<p>Prior to approval of Open Space Management Plan and final improvement plans; and annually thereafter for Project Sponsor, GHAD and HOA report and inspection.</p>		245)

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>A Fire Protection Plan will be included as part of the Open Space Management Plan for the GHAD.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>c. All housing shall be constructed with fire retardant roofing and interior sprinklers, fire resistant exterior material and landscaping around homes shall be designed to minimize the interface between grassland areas and residences (e.g., fire resistant vegetation).</p> <p>d. The Fire Protection Plan shall include a fire safety component (to keep fire risk at reasonable levels in open space areas) subject to the approval of the Fire District. The plan shall identify vegetation mitigation and control, maintenance intervals and responsibility, restrictions on vehicle access, water supply and long-term risk management and other criteria as required by the Fire Marshal. Minimum standards for plan review are available from the Fire District. An annual inspection report for compliance shall be submitted to the Fire Marshal for approval. Annual inspection fees shall be paid by the GHAD.</p> <p>e. EVA and private road cross sections shall be as shown on Sheet 31 and 32 of the November 2013 GDP for the project, subject to final review and approval by the Town Engineer and Fire District.</p> <p><i>[Also included as CDP Condition V.6]</i></p>					53
<p>Impact 3.61 #2. Fire Protection: Construction of the 35 lot project would increase the demand for fire protection services. It is anticipated that the project will not interfere with the Town's emergency evacuation plan as the Fire</p>	<p>Mitigation Measure 3.61 #2: The Project Sponsor shall provide a Fire Protection Plan that ensures that:</p> <p>a. The project is designed to be</p>	<p>Approval of Fire Protection Plan by Town of Moraga as part of Open Space Management Plan.</p>	<p>Town Building Inspection Services, Town Engineer, Fire</p>	<p>Prior to approval of Open Space</p>		245

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>Department will review all development plans. While current facility personnel and equipment are adequate, the following measures, required by the Town, will ensure the impacts are less than significant.</p> <p>Revised "D" Drive has been shortened (now 801 lineal feet), the number of homes served by it reduced to 6 and the drive aisles are 13.5' within a 36' ROW, so an EVA connection to Rheem Boulevard is not required.</p> <p>In the GDP/VTM 'D' Drive has been realigned to connect with Fay Hill Road and an EVA will connect the southern end of 'D' Drive to Rheem boulevard.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is less than with the 35 lot project (EVA connection between 'D' Drive and Rheem Boulevard), and the mitigation will still reduce the impact to less than significant.</p>	<p>consistent with the Town's emergency evacuation plan.</p> <p>b. The water lines serving the project shall provide continuous water flow and adequate pressure for fire suppression.</p> <p>c. All residences shall be no more than the distance required by the Uniform Fire Code from a fire hydrant.</p> <p>d. Project design, including street alignment, shall be such that emergency vehicles have full access to the site.</p> <p>e. Residential buildings shall be equipped with residential fire sprinklers per the Fire Code at the time of project approval.</p> <p>f. Water supply for fire flow water shall meet the most current Fire Code at the time of project approval.</p> <p>g. The project shall pay fire flow tax. The rate is based on fire protection systems and square footage. <i>[Also included as CDP Condition V.7]</i></p>	<p>Moraga-Orinda Fire District review of the subdivision improvement plans and periodic site inspection of the subdivision and the individual lots by the MOFD.</p> <p>Maintenance of the Fire Protection Plan shall be the responsibility of the GHAD as to open space and HOA as to homes. An annual inspection report for compliance shall be submitted to the Fire Marshal for approval.</p> <p>Building Inspection Services shall review and approve all individual lot building permits for compliance with the above conditions. The Moraga-Orinda</p> <p>Fire District shall review all fire flow calculations, improvement plans, fire protection sprinkler plans.</p> <p>EBMUD shall review and approve water distribution plans.</p>	<p>Marshall, Town Council, EBMUD and ongoing for GHAD (open space) and HOA (homes).</p>	<p>Management Plan and final improvement plans; and annually thereafter for Project Sponsor, GHAD and HOA report and inspection.</p>		

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
3.62 LAW ENFORCEMENT						
<p>Impact 3.62 #1. Police Protection: The Project would result in increased demand for police protection services that are provided by the Moraga Police Department. Current staffing levels are recognized as being lower than the standards of one officer per 1,000/population. The addition of 35 new homes will increase calls, potentially impacting the Department's ability to maintain response times. This is considered a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is less than with the 35 lot project (fewer homes), and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.62 #1: The Project Sponsor shall pay established development fees to offset cumulative impacts from the project, including the impact on police services which fee would be utilized to improve police services and response times. <i>[Also included in CDP Condition VIII.6]</i></p>	<p>Prior to issuance of each individual building permit, Town of Moraga will collect police protection mitigation fee.</p>	<p>Town Planning Department</p>	<p>Prior to issuance of individual building permit.</p>		<p>256</p>
3.63 SCHOOLS						
<p>Impact 3.63 #1. School Capacity: The Project would result in the generation of approximately 30 new students as shown on Table 3.63-1. As the three schools all have residual capacity and with this payment of school fees, this contribution does not represent a significant impact.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is less than with the 35 lot project (fewer homes), and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.63 #1: The Project Sponsor will be responsible for the payment of school impact fees at the time of building permit. Assuming an average sized home of 4,000 square feet, and based upon the current fee rate, the impact fees would be approximately \$287,000 at 35 homes or \$221,400 at 27 homes. <i>[Also included in CDP Condition VIII.2]</i></p>	<p>Prior to issuance of each individual building permit, the permit issuance agency will collect school mitigation fees.</p>	<p>Town Planning Department.</p>	<p>Prior to issuance of individual building permit.</p>		<p>254</p>

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	<i>[Also included in CDP Condition II.15]</i>					
<p>Impact 3.64 #2. Pressure Zones: EBMUD's Fay Hill Pressure Zone, with a service elevation range between 650 and 850 feet, will serve the proposed development, with site elevations ranging between approximately 700 and 790 feet. EBMUD owns and operates a distribution pipeline in Rheem Boulevard which provides continuous service to customers in the area. The integrity of this pipeline needs to be maintained at all times. Impacts to the pipeline are considered potentially significant.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.64 #2: Relocation of the existing pipeline in Rheem Boulevard, at the Project Sponsor's expense, may be required if modifications are made to Rheem Boulevard as part of the proposed development. A water main extension, also at the Project Sponsor's expense, will be required to serve the proposed development.</p> <p><i>[Also included in CDP Condition II.17]</i></p>	<p>The Town of Moraga, prior to issuance of a grading permit, shall ensure that the appropriate waterline extensions and relocations (if necessary) are properly designed.</p>	<p>Town Engineer.</p>	<p>Prior to approval final grading plan.</p>		<p>64</p>
<p>Impact 3.64 #3a. Encroachment into EBMUD Properties: EBMUD owns a piece of property and has four right-of-ways (R/W) that traverse the proposed development: Property CVC 304, R/Ws 745, 1806, 1807, and 1978 (see Figure 3.64-1). R/W 745 is a 50 foot wide easement that provides access to EBMUD's Property CC 30-4, a piece of land reserved for recycled water infrastructure. R/Ws 1806 and 1807 are 20 foot wide tunnel easements. R/W 1978 is a 50 foot wide easement that provides access to EBMUD's Fay Hill Reservoir located adjacent to the proposed development at the northwestern end of the project site. Encroachment into EBMUD properties is considered a significant impact.</p> <p>This potentially significant impact of the 27 Lot</p>	<p>Mitigation Measure 3.64 #3a: Development shall avoid EBMUD right-of-way. Prior to approval of the Precise Development Plan, the Town shall review the agreements that the Project Sponsor has with EBMUD. If off-site lands are disturbed by development, the Town shall conduct additional environmental review and certify the environmental analysis of those properties.</p> <p><i>[Also included as CDP Condition II.16]</i></p>	<p>The Town of Moraga will confirm that no development will occur in the EBMUD ROW.</p>	<p>Town Planning Department.</p>	<p>Prior to approval of Precise Development Plan.</p>		<p>62 251</p>

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Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.						
<p>Impact 3.64 #3b. Fay Hill Access Road: The 35 lot project proposed a realignment of the access road to Fay Hill Reservoir, Right-Of-Way 1978. Impacts to the access road to Fay Hill Reservoir are considered potentially significant impacts.</p> <p>This potentially significant impact has been eliminated in the 27 Lot Project with the removal of the "D" Drive entry at Rheem Boulevard.. Mitigation Measure 3.64 #3b in the Draft EIR is no longer necessary.</p>	Mitigation Measure 3.64 #3b in the Draft EIR is no longer necessary because of the design and alignment of the Fay Hill Raod, 'E' Street and "D" Drive in the GDP/VTM Project. Access to Fay Hill Reservoir for EBMUD is not impacted and will be improved.	N/A	N/A	N/A		
<p>Impact 3.64 #5. EBMUD Distribution System: EBMUD owns, operates and maintains pipelines in Rheem Boulevard. Potential improvements to Rheem Boulevard (including possible roadway stabilization, the development of bike lanes the addition of turning lanes near the proposed entrances) could impact the existing waterlines. These pipelines are extremely critical to EBMUD's water supply and distribution system and are necessary to provide continuous service to EBMUD's customers in the area. When modifications to the street occur, the pipelines may have to be relocated at the Project Sponsors' expense. Impacts to EBMUD's distribution system are considered potentially significant.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than</p>	<p>Mitigation Measure 3.64 #5: Measures to prevent any impacts to the existing pipeline, including those related to adequate pipeline cover and construction equipment wheel loads, shall be identified on the (offsite) Precise Development Plans if the Project Sponsor proposes construction within the public street. <i>[Also included in CDP Condition II.17</i></p>	Prior to the approval of Precise Development Plan, Project Sponsor shall provide the Town of Moraga with verification that EBMUD has reviewed and approved the construction plans.	Town Engineer.	Prior to approval of Precise Development Plan.		63

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significant.						
3.65 WASTEWATER SERVICES						
<p>Impact 3.65 #2. Off-Site Sewer Line: The project proposes to service all lots within the subdivision by gravity flow. While most sewer lines would be located beneath streets, construction of a sewer line is proposed between the end of "C" Court and the existing manhole in the Lafayette-Moraga Trail right-of-way. This sewer line would cross over drainages to Coyote Creek (and possibly a cross over Coyote Creek). This is considered a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.65 #2a: The project shall be designed so that it allows wastewater to flow by gravity to the CCCSD system. The sewer line shall be located within public roads or a dedicated 15 foot wide easement, where appropriate. The easement shall have a minimum 10 foot wide all weather pavement at the manholes (unless exceptions are granted by CCCSD). To avoid disturbance to onsite drainages or Coyote Creek, CCCSD will allow the Project Sponsor to undertake directional drilling so that the sewer line undercross the drainages. The following conditions shall apply:</p> <ol style="list-style-type: none"> a. Construction shall be undertaken during the dry season; b. Undercrossing shall meet with USFW standards; c. Permits for riparian habitat disturbance shall be obtained from CDFG if needed; and, d. Construction shall comply with CCCSD's Hillside and Creek Area Sewer Policy. <p><i>[Also included in CDP Condition II.18]</i></p>		Town Engineer, and CCCSD.	Prior to approval of Precise Development Plan.		70

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
	<p>Mitigation Measure 3.65 #2b: Lots on 'C' Court and 'B' Court may be served by a pumping system acceptable to CCCSD to a sewer line from 'E' Street to Rheem Boulevard, or alternatively, if feasible, a gravity line off 'C' Court and 'B' Court down the hillside to the east (through directional drilling) and then connecting to the main line in St. Mary's Road.</p> <p><i>[Also included in CDP Condition II.18]</i></p>					71
<p>Impact 3.65 #3. Transmission Facilities: The existing project area main sewers are adequate for the additional wastewater that will be generated by the Proposed Project based upon current conditions. Some downstream District facilities do not have adequate flow carrying capacity under the District's current design criteria for ultimate build out buildout conditions. Improvements to correct the deficiencies are in the District's Capital Improvement Plan and are expected to be completed prior to buildout. Improvements to the District's existing facilities that are required as a result of new development will be funded from applicable District fees and charges. This would be considered a less than significant impact.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.65 #3: The Project Sponsor shall be required to pay fees and charges at the time of connection to the sewer system. The Project Sponsor shall secure a will serve letter that address transmission capacity.</p> <p><i>[Also included as CDP Condition II.19]</i></p>	<p>Prior to approval of the Precise Development Plan, the Project Sponsor shall provide the Town with a will serve letter that assures that adequate transmission capacity is available.</p>	<p>Town Engineer, and CCCSD.</p>	<p>Prior to approval of Precise Development Plan.</p>		52
<p>3.66 SOLID WASTE DISPOSAL</p>						

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>Impact 3.66 #2: Solid waste generated by the project is not expected to inhibit or impact Moraga's ability to maintain its 50 percent diversion rate. However, construction and demolition activities necessary for project development could generate significant levels of solid waste, vegetative waste, and construction debris if proper mitigation measures are not implemented.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is less than with the 35 lot project (fewer units), and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.66 #2: The Project Sponsor shall be required to complete a construction debris recycling plan indicating they comply with the Town's requirement for diversion of construction and demolition debris per the Town's ordinance. Compliance with this will help maintain the Town's 50 percent diversion. <i>[Also included as CDP Condition IV.46]</i></p>	<p>The Town of Moraga shall review and approve the construction debris recycling plan prior to issuance of a grading permit.</p>	<p>Town Engineer.</p>	<p>Prior to approval of final grading plan.</p>		<p>38</p>
3.70 CULTURAL RESOURCES						
<p>Impact 3.70 #1. Archaeological Resources: There is the possibility that buried archaeological deposits could be present and accidental discovery could occur, a potentially significant impact.</p> <p>This potentially significant impact of the 27 Lot Project and the GDP/VTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>Mitigation Measure 3.70 #1: If archaeological remains are uncovered, work at the place of discovery should be halted immediately until a qualified archaeologist can evaluate the finds (§15064.5 [f]). Prehistoric archaeological site indicators include: obsidian and chert flakes and chipped stone tools; grinding and mashing implements (e.g., slabs and handstones, and mortars and pestles); bedrock outcrops and boulders with mortar cups; and locally darkened midden soils. Midden soils may contain a combination of any of the previously listed items with the possible addition of bone and shell remains, and fire affected stones. Historic period site indicators generally include: fragments of glass, ceramic, and metal objects; milled and split lumber; and structure and feature remains such as</p>	<p>The Project Sponsor's construction manager shall be responsible for adherence to the above mitigations. The Town Engineer will require grading plans and construction contracts involving ground displacement to include a requirement that in the event remains are encountered, construction shall be temporarily halted and the Town Planning Department shall be notified immediately.</p>	<p>Town Engineer.</p>	<p>Prior to approval of final grading plan, and during construction.</p>		<p>176,</p>

Description of Potentially Significant Impact and Effect of Mitigation for 35 Lot and 27 Lot Project	Mitigation Measure for GDP/VTM Project	Monitoring Task	Responsible Division/ Agency	Timing of Monitoring Task	Monitor & Verify Initials/ Date	Conditions of Approval
<p>This potentially significant impact of the 27 Lot Project and the GDPVTM Project is no more than with the 35 lot project, and the mitigation will still reduce the impact to less than significant.</p>	<p>coroner contacted. If the coroner determines the remains are Native American, the coroner will contact the Native American Heritage Commission. The Native American Heritage Commission will identify the person or persons believed to be most likely descended from the deceased Native American. The most likely descendent makes recommendations regarding the treatment of the remains with appropriate dignity. <i>[Also included in CDP Condition IV.49]</i></p>	<p>mitigations. The Town of Moraga will require grading plans and construction contracts involving ground displacement to include a requirement that in the event remains are encountered, construction shall be temporarily halted; the Town Planning Department shall be notified immediately.</p>		<p>grading plan, and during construction.</p>		

ATTACHMENT H

**GENERAL PLAN POLICY
MATRIX, MARCH 2014**

General Plan Policy Matrix
Rancho Laguna II
Analysis of Conformance With Town of Moraga 2002 General Plan

General Plan Goal or Policy Applicable to Project	Conformance to General Plan Goal or Policy
Chapter 3 Land Use Land Use	
Residential LU1 Goal	Project is a “high quality residential environment” as 90% of site preserved as permanent open space, including all MOSO land, minor ridgeline, oak woodland, Coyote Creek, and intermittent drainage. The new homes and landscape will be designed to blend with the environment.
LU1.1 Neighborhood Preservation	Project as designed, conditioned and mitigated has no adverse impacts on existing residential neighborhoods. All environmental impacts are less than significant. Project density is less than nearby neighborhoods. Lot sizes are comparable (some larger, some smaller) and more of the new neighborhood is preserved as open space than nearby existing neighborhoods. Private view of new homes and streets, in and of itself, is not inconsistent with General Plan policies. Some Birchwood residences are at a higher elevation than the new southern plateau development. In General Plan context, their private views will not be adversely impacted by a view of some of the Project’s new homes and streets in combination its new landscape and preserved open space.
LU1.2 Residential Densities	Project is within the residential density range for open space lands (one unit per 5 to 20 acres). Per policy, density is to be determined in the application process and based on environmental and site constraints, among other factors. Density of one unit per 6.7 acres is appropriate for Project as designed and mitigated.
LU1.3 Residential Building Height	Residential building heights of 10 homes in upper Rheem valley will not negatively impact the hillside views for travelers on Rheem Boulevard. Building heights on southern plateau also take into account visibility from public views (single story on flat pads of lots along ‘B’ Court and ‘C’ Court), which will also benefit private views. None of the new homes will block views of existing residences so the focus is on the limited public views of the development clusters.
LU1.4 Housing Types	Project is limited to conventional detached single-family homes, which is appropriate on open space lands.
LU1.5 Development Densities Open	Policy wording comes from MOSO initiative and addresses densities on MOSO open space.

General Plan Goal or Policy Applicable to Project	Conformance to General Plan Goal or Policy
space Lands	Project does not include lots on MOSO portion of property. Project density conforms to LU1.2 density standards.
LU1.6 Minimum Lot Sizes and Percentage Mix for Single Family Developments	Project includes trails with guaranteed permanent public access. Lots exceed the 15,000 sq.ft. minimum size for a project with such recreational facilities. Density on MOSO portion of property is not altered by the implementation of this policy.
a. Additional lots for TDRs and density bonuses.	No TDR or density bonus is being requested.
b. Variation in the mix of lot sizes	Project includes variation in lot sizes (18,472 sqft to 43,496 sq.ft.). Lot size variation does not require Town Council approval.
c. Clustering on smaller lot sizes	Policy not applicable to open space lands, but clustering concept is implemented in Project without the need to reduce lot sizes below the 15,000 sq.ft. minimum.
d. Lot size and slope	Project lot sizes need not be increased any further to mitigate negative visual impacts and/or geologic hazards. Clustering the lots in two locations and mitigation measures reduce those impacts to less than significant.
e. Lot sizes in Open Space areas	See summary above for Policy LU1.6 regarding 15,000 sq.ft. minimum lot size for Project.
LU1.8 Slope Restrictions	Project does not require or include development on MOSO portion of property, other than dirt trails and potentially a sewer line off 'C' Court. Development on the Non-MOSO portion of the project site over 800 feet in elevation is on average slopes that do not exceed 20%. On the non-MOSO portion all grading is supported by site-specific analysis that confirms geological risk is mitigated to an insignificant level. Average slopes on all building pads (after-graded slope) are less than 25%. The average slope over the entire graded area is less than 25%. Grading in those locations is the minimum slope required in order to create development clusters in a manner that is "in the spirit of, and not incompatible with, the intention and purpose of all other policies of the General Plan." For example, the extent of grading on the southern plateau has varied yet compatible purposes: create mostly flat building pads, provide for adequate road sections, reduce pad and street elevations and construct a berm to limit visibility of the homes, and generate cut material to create the valley buttress required to stabilize Rheem Boulevard. Grading in the Rheem valley is the minimum necessary to create the valley buttress and flat pads

General Plan Goal or Policy Applicable to Project	Conformance to General Plan Goal or Policy
	<p>on wide lots for 10 homes. The Project as designed and graded conforms to General Plan policies and as mitigated has no significant environmental impacts. The significance standards used in the EIR are informed by the applicable General Plan policies.</p>
<p>LU1.9 Cluster Housing to Protect Open Space</p>	<p>Housing is clustered in two locations, the southern plateau and upper Rheem valley, on less than 10% of the property's 178.89 acres. This results in permanent preservation and protection of 161.65 open space acres. The development clusters, as located, designed and mitigated, are not visually prominent as seen from Rheem Boulevard, a scenic corridor road, or from any other public view. The prominent view of the property from Rheem Boulevard is its valleys, hillside and ridgeline as a whole. For travelers on Rheem Boulevard, the prominent view of the Project as designed and mitigated will be the same. The 10 homes on 'D' Drive will be screened by trees and separated from Rheem Boulevard by the open wetland swale. The southern plateau homes and streets will be screened by the berm on its westerly side in combination with native trees and shrubs planted on portions of the hillside in natural clusters. The intermittent drainage in the lower Rheem valley will be preserved in its current condition to maintain open views for Rheem Boulevard travelers. Predominant views from the east will be of the minor ridgeline on the MOSO portion of the property, the Non-MOSO ridge adjacent to it, and the ridgelines to the north of the property.</p>
<p>LU1.10 Planned District Zoning</p>	<p>The non-MOSO portion of the property is zoned Planned District. MOSO open space is not zoned Planned District. The application to develop the property is being processed in a manner consistent with Chapter 8.48 of the Moraga Municipal Code and thus requires approval of a conceptual development plan</p>
<p>Chapter 4 Community Design</p>	
<p>Natural Setting CD1 Goal</p>	<p>Project as designed and mitigated protects and preserves the natural scenic qualities of the property. 90% is protected and managed as permanent open space. Coyote Creek, oak woodlands and the minor ridgeline are preserved. The recreated wetland swale in the upper valley and the preserved intermittent drainage in the lower valley will be natural in appearance and enhanced scenic quality, as will the new native landscape clusters on the hillsides. Open views of the valley, hillsides and ridgeline will be maintained.</p>
<p>CD1.1 Location of New Development</p>	<p>Development on the property has been located in areas that are the least sensitive in terms of environmental and visual resources, to the extent possible. The upper valley cluster is located in a small, degraded area of previously placed fill. Visibility of the southern plateau from public</p>

General Plan Goal or Policy Applicable to Project	Conformance to General Plan Goal or Policy
	views is limited. It does not include oak woodland or other significant environmental resources. The stabilization and repair of Rheem Boulevard in the upper valley as part of the development is not possible without the valley buttress, but the environmental and visual quality of the recreated wetland swale will be enhanced.
CD1.2 Site Planning, Building Design and Landscaping	Limiting the two development clusters to the upper Rheem valley and southern plateau retains natural topographic features and visual qualities of the property. The recreated wetland swale on the upper valley buttress will be natural and enhanced in function and appearance. New landscape will blend new structures and streets with the environment.
CD1.3 View Protection	Project as designed and mitigated maintains the Town's semi-rural character and protects important elements of its natural setting, with 90% protected and maintained as permanent open space, including the important elements of Coyote Creek, minor ridgeline, oak woodlands, and open valleys. Open valley, hillside and skyline views from Rheem Boulevard, a scenic road, are maintained. Views from St. Mary's Road, in particular in the section across from the Lafayette-Moraga Regional Trail adjoining the parking lot, are protected by changes in the project design in the upper development area. The recreated wetland swale in the upper valley and preserved intermittent drainage will be of natural and enhanced visual quality. The predominant higher elevation view of the property from Moraga and Lafayette is the protected minor ridgeline and its upper hillside and the Non-MOSO ridge, in some instances in combination with the ridgelines to the north. Visual quality impacts of the Project from public views in Moraga and Lafayette have been mitigated to less than significant. View protection with respect to the upper valley is being provided without the need for landscape screening there.
CD1.4 Canyon and Valley Areas	The scenic and environmental qualities of the two valley areas on the property are protected. Project mitigation measures and conditions of approval require substantial preservation and enhancement of the intermittent drainage and its topography in the lower valley. Coyote Creek is included in the permanent open space, as well as the recreated wetland swale in the upper valley and the preserved intermittent drainage in the lower Rheem valley. The scenic qualities and views of Coyote Creek and the oak woodland on the adjacent hillsides, now mostly unavailable to the public, will be seen from the Project's public trails. Along Rheem Boulevard, significant linear open space will be preserved following construction of the upper valley buttress, and including the preserved intermittent drainage, wetland swale, natural grasses and low riparian vegetation as a visual focus. Native trees and shrubs will be placed and species planted to maintain open views of the valley and minor ridgeline, as well as a natural hillside landscape comprised of native trees and open grassland. As such, the upper valley buttress will not adversely affect the scenic and environmental qualities of the Rheem valley area. The residential development in the upper Rheem valley at the

General Plan Goal or Policy Applicable to Project	Conformance to General Plan Goal or Policy
	bottom of the hillside, limited to 10 homes on wide lots, is semi-rural in character. The location of 'D' Drive and the 10 homes, separated and screened from Rheem Boulevard, will not adversely affect the environmental and scenic qualities and public views of the valley or the hillside and ridgeline behind them
CD1.5 Ridgelines and Hillside Areas	The General Plan defines ridgelines as the identified major and minor ridgelines under MOSO. The Non-MOSO southern plateau development area is not part of the property's minor ridgeline because its elevation is less than 800 feet or, where it is above that elevation, the average slope on the development area does not exceed 20%. That development area is limited to approximately 17 acres, preserves significant oak woodland and grasslands, and minimizes visual impacts. Homes on the southern plateau will be low profile and designed to blend with the environment. Native trees and shrubs will be placed and species selected to blend hillside improvements with the environmental setting
CD1.6 Vegetation	New project landscape in open space is comprised of native trees, shrubs and grasses suitable for the particular locations, hillside or riparian. The identified native species in the open space and along streets are drought tolerant and fire resistant. The same will be required for landscape on individual lots during the design review process for those homes
CD1.8 Utility Lines	New electrical and other utility lines in the Project will be underground in the private streets. The new electrical utility lines will connect to existing overhead lines located on the non-project side of Rheem Boulevard
Public Places CD2 Goal	Project includes pedestrian connections to existing and future pedestrian trails and to Moraga Road and St. Mary's Road. Stabilization, repair and improvement of Rheem Boulevard along the project frontage in both the upper and lower valley will protect and maintain vehicular connections between St. Mary's Road and Moraga Road area, including St. Mary's College and commercial areas in Rheem
CD2.1 Public Places as Focal Points	Project includes an integrated pedestrian path system throughout the site, which can in the future link to the Lafayette-Moraga Regional Trail and the future Palos Colorados trails. Included is a public path on the project side of Rheem Boulevard which connects to the existing sidewalk extending to Moraga Road.
CD3.1 Designation of Scenic Corridors	Rheem Boulevard and St. Mary's Road are designated scenic corridors consistent with this policy and the Project has been designed and mitigated with that in mind.

General Plan Goal or Policy Applicable to Project	Conformance to General Plan Goal or Policy
CD3.2 Visual Character	Improvements to the visual character of the Rheem Boulevard scenic corridor include the elimination of uneven pavement and evidence of earth movement and an improved road section with a pedestrian path on the project side. The scope of improvements in the upper valley is consistent with the semi-rural character of this location along Rheem Boulevard. A wetland swale will be recreated on the upper valley butress (a visual improvement over the existing visually degraded conditions), which will transition to the intermittent drainage in the lower valley. Native trees and shrubs will also improve the visual character of the scenic corridor and will be planted in locations that will not obstruct open views of the valleys, hillsides and skyline. The GHAD's long-term management of the open space will preserve the visual character of the scenic corridor. The westerly edge of 'D' Drive in the upper valley is set back from Rheem Boulevard 120-140 feet and will be screened by trees and shrubs in the open space and in an easement in front of the homes, so that the 10 homes as designed will not adversely affect the visual character of the scenic corridor. Lighting and signage is not included because it would not improve the visual character of the scenic corridor
CD3.5 Landscaping and Amenities	See summary above for preceding policy which also applies to this policy
CD3.6 Development Standards and Design Guidelines	Town has not adopted specific implementing programs for scenic corridors. Project design with respect to scenic corridors has been developed through the application and environmental review process, which focuses on visual quality.
CD3.7 Underground Utilities in Scenic Corridors	New electrical and other utility lines in the Project will be underground in the private streets, including 'D' Drive visible from Rheem Boulevard. The on site electrical utility lines will connect to existing overhead lines located on the non-project side of Rheem Boulevard.
Single Family Neighborhoods CD4 Goal	To the extent the Project is considered part of the existing neighborhood on Rheem Boulevard above St. Mary's Road, as designed and mitigated the Project preserves the existing scale, character and quality of the neighborhood. 90% of the property is permanently preserved as high quality open space, managed and protected by the GHAD. The density is much lower than present in the existing neighborhood. Homes are clustered on large lots and will be designed to blend with the environment. The pedestrian trails and sidewalks will promote walking and biking between neighborhoods. See summaries in neighborhood policies below for further discussion applicable to this policy
CD4.1 Property Development Standards	PD and non-MOSO development standards applied to this Project are more restrictive than existing neighborhood, and are enforced through planned development, environmental review and

General Plan Goal or Policy Applicable to Project	Conformance to General Plan Goal or Policy
	design review processes, including mitigation measures and conditions of approval
CD4.2 Neighborhood Character and Improvements	Project as designed and mitigated strengthens and enhances neighborhood character. Rheem Boulevard is stabilized, repaired and improved along the entire project frontage. Significant open space is preserved and managed. Pedestrian trails and sidewalks for neighborhood public use are provided. Homes on large lots will be designed to blend with the environment. The two development clusters are located where they will not adversely affect the existing neighborhood
CD4.4 New Residential Developments	Project as designed respects the site topography and natural features. Coyote Creek, oak woodlands and minor ridgeline. A recreated wetland swale in the upper valley with new landscape will be an enhanced natural feature and will connect to the preserved intermittent drainage channel in the lower valley. Lot sizes and shapes on the southern plateau are not standard and instead reflect the topography. Public trails will link nearby neighborhoods in Palos Colorados and along the Lafayette-Rheem Regional Trail. The pedestrian path on Rheem Boulevard also helps provide linkage to the Rheem Boulevard and Moraga Road neighborhoods
Chapter 5 Housing	
Housing & Neighborhood Quality H1 Goal	Project as designed and mitigated is a “high-quality, safe and livable” residential neighborhood, in and of itself and as part of the larger neighborhood
H1.3 Design for safety	Project has two development clusters, so homes will not be isolated and less likely to be subject to unnoticed criminal activity. GHAD will be responsible to minimize vandalism or other criminal activity in the open space through its management
H1.4 Design Excellence	Project as designed and mitigated is compatible with the scale and character of nearby neighborhoods and the semi-rural character of the Town as a whole, as more fully discussed under other policies. Houses will be designed to blend with the environment per Condition III.8.
H2 Housing Mix and Affordability Goal	Custom and semi-custom homes on large lots are the appropriate variety of housing for non-MOSO open space on this property. The extent and type of housing on this property must take into account the objective to preserve a significant amount of open space, limit housing to low density and maintain a semi-rural character. In that context, the Project will assist the Town in meeting its housing needs to the extent possible.
H2.1 Housing Variety	See the summary above for Goal H2, which applies to this policy.

General Plan Goal or Policy Applicable to Project	Conformance to General Plan Goal or Policy
H2.9 Secondary Living Units	A future lot owner has the opportunity to submit a secondary living unit application. The secondary living unit in combination with the primary unit must meet the design criteria in Condition III.8 (e.g., blend with the environment) and meet the standards in this policy.
Chapter 6 Circulation	
Traffic Circulation and Safety C1 Goal	Project as mitigated and conditioned improves reasonable and safe access to the Town on Rheem Boulevard, through its stabilization, repair and improvement along the project frontage. The turn pocket for 'D Drive provides a safe Project ingress and egress. Internal project movement meets Town private road standards and the requirements of the Fire Marshall.
C1.1 Roadway Engineering & Maintenance	Applying standard engineering principles, the roadways within the Project and the Rheem Boulevard frontage are designed to be safe for all users (except equestrians; this circulation location is not appropriate for horses). Roads will be geologically stable, consistent with the mitigation recommended by the Applicant's geotechnical engineers, ENGEO, and supported by the Town's geotechnical consultant and EIR geotechnical sub-consultant. Private street widths have been narrowed to the extent allowed by the Town Engineer and Fire Marshall and still achieve public safety. Sidewalks and public trails are included in the Project. The private roads in the Project will be maintained by the HOA and open to public use.
C1.2 Traffic Impact Costs	Traffic impact fees will be paid by Applicant.
C1.6 Street Maintenance	A homeowners association (HOA) is required for the Project. The HOA will be required to conduct private street maintenance at a minimum Pavement Condition Index of 70 per Condition 88 . The GHAD will be responsible for aeoloical stabilitv of the private streets.
C1.8 Priority Roadway Improvements	Stabilization, repair and improvement of Rheem Boulevard is a priority Town capital improvement. This safety related project will be completed by the Applicant at its cost in the upper valley of Rheem Boulevard along its frontage
C1.11 Emergency Vehicle Access	Improved access for emergency vehicles closer to Coyote Creek and adjoining open space is provided in this Project.
Regional Coordination C2 Goal	Rheem Boulevard is part of the regional circulation system. Its long term stability makes it safer and assures it remains open, which meets the expectations and needs of Lamorinda residents

General Plan Goal or Policy Applicable to Project	Conformance to General Plan Goal or Policy
C2.1 Regional Collaboration & problem- solving	Project development will not exceed established LOS standards along roads leading from Moraga. Payment of applicable traffic fees is sufficient to address cumulative traffic impacts. The Applicant and Town will accomplish the full stabilization of Rheem Boulevard in a coordinated effort.
C2.2 Regional Transportation Improvements	See the summary in the above policy which also applies to this policy
Pedestrians, Bicycles & Transit C4 Goal	The Project provides pedestrian pathways, including trails, sidewalks and crosswalks that provide connections to the Rheem Boulevard / Moraga Road commercial area and to transit.
C4.1 Pedestrian Circulation	Public trails in open space may connect to other public trails in Palos Colorados and the Lafayette-Moraga Regional Trail. A public trail is also included along the project side of Rheem Boulevard
C4.2 Bicycle Circulation	Striped shoulders on Rheem Boulevard will assist bicycle circulation
Chapter 7: Open Space and Conservation	
Open Space Preservation OS1 Goal	Project as designed preserves as much open space as possible, including the minor ridgeline, with public trails and parking provided to help meet the recreational needs of Project residents and the public.
OS1.1 Open Space Preservation	90% of the property is preserved as open space accessible to the public and managed at no cost to the Town. See also the summary above for Goal OS1.
OS1.2 Major Ridgelines	No development will occur on lands designated MOSO on the General Plan diagram. The property does not include a major ridgeline.
OS1.3 Development Densities in Open Space Areas	This policy addresses development on MOSO land. No development is proposed on the MOSO portion of the property, with the potential exception of a sewer line off 'C' Court.
OS1.4 Private Ownership and Use	Project open space will be owned and managed by the GHAD, a public entity, under the direction

General Plan Goal or Policy Applicable to Project	Conformance to General Plan Goal or Policy
of Open Space Areas	of the Town Council. The open space will be accessible to the public through public trails.
OS1.5 Development on Slopes and Ridgelines in Open Space Lands	Project includes no development on the MOSO portion of the property, except for trails and potentially a sewer line off 'C' Court. Environmental and site constraints limit the development to the two development clusters, plus grading for the upper valley buttress to stabilize Rheem Boulevard and other limited grading for slope stability and road construction. There is no environmental impact, site constraint and/or other factor, including conformity to General Plan policies, which warrants a reduction in the number of units, density or extent of the development provided in the Project as designed and mitigated.
OS1.8 Open Space Access and Recreational Use	Public trails in the Project open space are included, which may connect to the Lafayette-Moraga Regional Trail and Palos Colorados trails.
OS1.9 Open Space Management	Project open space will be preserved in perpetuity by a conservation easement or other appropriate deed restriction in favor of the Town. It will be managed by the GHAD consistent with the applicable mitigation measures, and subject to review and direction from the Town.
OS1.10 Open Space Grazing	Per the Project mitigation, open space grazing will be part of the open space management by the GHAD. Grazing will be controlled so as not to degrade the environment. For example, grazing in and around the recreated wetland swale and the preserved intermittent drainage will be avoided.
Environmental Quality OS2 Goal	Project as designed and mitigated, with 90% of the property in managed open space in perpetuity, a recreated and enhanced wetland swale and preserved intermittent drainage in a geologically stable condition, will help make the Town's "environmental quality in the future as good or better than today."
OS2.1 Protection of Wildlife Areas	Project design, with 90% of the property preserved as permanent open space, and implementation of the final EIR mitigation measures with respect to wildlife protection, including open space management by the GHAD, results in the Project not adversely affecting wildlife areas.
OS2.2 Preservation of Riparian Environments	The most valuable riparian resource on the property is Coyote Creek, which will be preserved and managed in perpetuity and not affected by Project development. It is not possible to preserve the wetlands in the upper Rheem valley, and create the valley buttress required to stabilize, repair and improve Rheem Boulevard, for the reasons fully discussed elsewhere. The recreated

General Plan Goal or Policy Applicable to Project	Conformance to General Plan Goal or Policy
	wetland swale and its permanent preservation and management in a natural state, conforms to the objective of this policy. The intermittent drainage in the lower valley will be preserved in its current condition, also in conformance with this policy.
OS2.3 Natural Carrying Capacity	The natural carrying capacity of Coyote Creek will not be changed by the Project development. For the reasons discussed above, a valley butress will be constructed and a wetland swale in the upper Rheem valley. The intermittent stream in the lower Rheem valley will be substantially preserved and enhanced. Their carrying capacity will be designed or enhanced to include water from the Project development, and the natural environment of those waterways will be maintained by the GHAD.
OS2.4 Areas of Natural Significance	Project areas of natural significance that are preserved and managed in perpetuity in the Project include Coyote Creek, oak woodland and open hillsides on the easterly side, minor ridgeline, and hillsides on the Rheem Boulevard side. The existing wetland in the upper Rheem valley cannot be preserved for the reasons discussed elsewhere. The recreated and enhanced wetland swale will be preserved and managed in perpetuity in its natural environment. The intermittent drainage in the lower valley will be substantially preserved and enhanced per the direction of the Town Council.
OS2.5 Wildlife Corridors	Mitigation measures to protect and manage wildlife areas and movement corridors, and avoid fragmentation, are included. They will reduce any wildlife corridor impacts to less than significant.
OS2.6 Reintroduction of Wildlife Species	Reintroduction of certain species (i.e., red legged frog and Alameda Whipsnake) is avoided by Project mitigation measures in order to protect those species from predators in the recreated wetland swale and preserved intermittent drainage areas. The extent and location of Project open space, and the recreated wetland swale and preserved intermittent drainage, all professionally managed by the GHAD, are such that other wildlife species may be reintroduced to the property and surrounding open space.
OS2.7 Reintroduction of Native Plant Species	Project landscape design and mitigation measures provide for the reintroduction of native plant species, professionally managed by the GHAD in perpetuity.
OS2.8 Tree Preservation	Oak woodland on the property is preserved. Arroyo willows and other native trees will need to be removed to create the upper valley butress. Replacement trees will be planted for mitigation at or above the required ratio, in addition to native trees and shrubs planted on hillsides for visual mitigation. The new trees will contribute to the beauty and environmental quality of the Town.

General Plan Goal or Policy Applicable to Project	Conformance to General Plan Goal or Policy
OS2.9 Tree Covered Area	Coyote Creek tree cover and nearby oak woodlands will be preserved in perpetuity.
OS2.11 Recycling and Source Reduction	A construction debris recycling plan is required for the Project.
Water Quality & Conservation OS3 Goal	The final Drainage Plan for the Project must address the effect, if any, of new development in the upper and lower Rheem valley areas on the recharge of existing springs and seeps. Coyote Creek is maintained in its natural condition in perpetuity. The recreated wetland swale will be maintained in its natural condition in perpetuity. Mitigation measures include water conservation requirements. The intermittent drainage in the lower valley will be substantially preserved and enhanced.
OS3.1 Sewer Connections	CCCSO sewer connections required.
OS3.2 Polluting Materials	Per Project mitigation measures, watercourses and drainage facilities will be professionally managed by the GHAD. Polluting materials on open space, streets, and residential lots that could impact watercourses will be limited through management by the GHAD and HOA.
OS3.3 Street and Gutter Maintenance	See summary in above policy, which is applicable to this policy.
OS3.4 Watercourse Capacity	Mitigation measures require that design capacity of the recreated wetland swale and preserved intermittent drainage during peak runoff not be exceeded. Coyote Creek peak runoff will not be increased by Project development.
OS3.5 Watercourse Preservation	Coyote Creek will be preserved in perpetuity. It is not possible to preserve the wetland swale in the upper Rheem valley for the reasons discussed elsewhere (i.e., the upper valley butress required for Rheem Boulevard stabilization and safe development of 'D' Drive and the 10 homes there). That degraded watercourse will be replaced with an enhanced wetland swale, which connects to the preserved intermittent drainage. The flora and fauna required as part of that replacement meets the objective of this policy, and will be professionally maintained in perpetuity by the GHAD.
OS3.6 Run-off from New Developments	Mitigation measures require peak storm runoff from property with new development be reduced to at or below existing conditions at point of discharge off site. Water quality control basins are

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	included in the Project design. All runoff impacts are less than significant.
OS3.7 Water Conservation Measures	Required Project water conservation includes drought-tolerant landscape, water efficient irrigation systems, compliance with Model Water Efficient Landscape Ordinance, ultra-low flow toilets, and such additional Demand Reduction Measures that EBMUD and the Town may consider appropriate commensurate with Project's water demand. Dual piping for use of recycled water may be required by EBMUD if its use seems likely in the future.
OS3.8 Water Recycling	Dual piping for use of recycled water may be required by EBMUD for the Project (one pipe for residences' water and one for irrigation) if the availability of recycled water seems likely in the future.
Air Quality OS4 Goal	Air quality is preserved and maintained by the Project through mitigation measures to reduce dust and equipment exhaust emissions during construction, the preservation of oak woodland, linked public trails to encourage walking, improved bicycle access on Rheem Boulevard, gas and electrical energy conservation in the design of new homes, and a relatively small number of new homes.
OS4.1 Development Design	See the summary above in Goal OS4, which is applicable to this policy. Condition 14 requires significant energy conservation in the design, construction and use of new homes.
OS4.2 Development Approvals & Mitigation	Project does not exceed regional and local air quality standards.
OS4.3 Development Setbacks	Project homes on 'D' Drive are set back at a minimum of approximately 85 feet from Rheem Boulevard.
OS4.5 Alternate Transportation Modes	Project includes linked public trails and Applicant will construct improved pedestrian and bicycle access on Rheem Boulevard to link with the St. Mary's Road and Moraga Road areas.
Energy Conservation OS5 Goal	Condition 14 requires new homes to achieve at least 90 points on the Town's Green Building Program. Photovoltaic cells will be offered to buyers as an option..
OS5.1 Building Standards	Building energy efficiency standards exceed California Building Code standards in Title 24, with the implementation of Condition III.9.

General Plan Goal or Policy Applicable to Project	Conformance to General Plan Goal or Policy
OS5.2 Energy Conservation	The summary above for Goal OS5 applies to this policy.
OS5.3 Trip Reduction	Project includes linked public trails. Applicant will construct improved pedestrian and bicycle access on Rheem Boulevard.
Noise OS6 Goal	Homes in the Project will be surrounded by significant open space and well set back from Rheem Boulevard, such that noise levels will be low. The new Project homes and streets will not adversely affect noise levels at existing homes. Construction noise will be mitigated to less than significant.
OS6.4 Noise Impacts of New Development	Noise from Project will not raise noise levels above acceptable levels on any Town arterials or major streets, per analysis in the final EIR.
OS6.5 Acoustical Data with Development Applications	The final EIR includes sufficient acoustical data so that noise impacts of the Project are properly evaluated and mitigated. A detailed mitigation measure to reduce construction noise is included.
Chapter 8 Public Safety	
General Public Safety PS1 Goal	Project as designed and mitigated will provide a semi-rural environment that is relatively free from hazards and as safe as practicable. Final EIR confirms that, with implementation of mitigation measures, hazards such as geotechnical and fire risk are insignificant for the new development in the Project as designed. After the Project is developed, the GHAD will continue to control those risks through its professional management of the property.
PS1.1 Assessment of Risk	The final EIR and studies conducted for the Project referenced therein have sufficiently assessed and mitigated natural hazard risks to the development. Those studies are sufficient for this stage in the development process. With implementation of the mitigation measures, the level of natural hazard risks is less than significant and acceptable in terms of effect on life and property. Ongoing protection against natural hazard risks will be provided by the GHAD's professional management of the property, including geotechnical, peak storm and wildfire risks. GHAD management will be subject to review and direction from the Town. Risk management by the GHAD will be paid for through homeowner assessments, not public funds.
PS1.2 Public Review of Risk Data	The environmental and planning review process for the Project has provided sufficient opportunity for public review of risk data and the evaluation of existing and potential hazards.

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PS1.3 High Risk Areas	No finished lots, homes, streets or water quality basins in the Project will be constructed within a “high risk” area in terms of land instability or other risk factors. Approved mitigation measures will be implemented in the design and construction of the Project to eliminate high or moderate risks in the Project development clusters. For example, debris benches on “D” Drive will eliminate high or moderate risk to those homes from inactive landslides above those debris benches. All streets, buildings pads, and foundations will be on engineered soil. They will be protected against the potential for future landslide activity within the surrounding open space, and from the potential adverse effects of soil creep, shallow groundwater, erosion, and storm runoff.
PS1.4 Moderate Risk Areas	No finished lots, homes, streets or water quality basins in the Project will be constructed within a “moderate risk” area per the summary in the policy above, which also applies to this policy.
PS1.6 Public Safety Improvements	The stabilization, repair and improvement of Rheem Boulevard is a high priority improvement identified by the Town Council. This public improvement will benefit the Town for many years to come.
PS1.7 Hazardous Wastes	Mitigation measures require use and disposal of hazardous materials used in the course of construction to comply with all State and Federal regulations.
Police and Emergency Services PS2 Goal	Project homes will pay applicable Town development fee for cumulative impact of new development on police services.
PS2.1 Police Services	Summary for Goal PS2 above applies to this policy to maintain adequate police services.
PS2.2 Address Visibility	Home address visibility will be required at the building permit stage of development.
Fire Safety and Emergency Services PS3 Goal	Project contributes to a high level of fire and life safety through improved emergency vehicle access and GHAD management of open space to reduce the risk of wildfire hazard, among other mitigation measures as implemented through the Project’s Fire Protection Plan described in mitigation measures. The Town Engineer and Fire Marshall will approve the Plan.
PS3.4 Fire Flows	Mitigation measures require water lines serving the Project provide continuous water flow and adequate pressure for fire suppression, and that fire flows meet the latest Fire Code requirements. Compliance will be confirmed by the Fire Marshall.

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PS3.5 Development Review for Emergency Response Needs	Project as designed and mitigated provides sufficient emergency response per Town Engineer and Fire Marshall review.
PS3.6 Fire Vehicle Access	Project as designed and mitigated provides sufficient fire vehicle access per Town Engineer and Fire Marshall.
PS3.8 Fire Safety Devices in Buildings	Project mitigation measures require a residential fire sprinkler system in each home, as well as fire retardant roofing and other fire resistant exterior materials. Landscaping will be fire resistant.
PS3.10 Fire Protections Systems	The summary for the above policy also applies to this policy.
PS3.11 Development Review by the Moraga- Orinda Fire District	Fire Marshall has reviewed street access for the Project and other fire safety impacts and mitigation. Final review will be provided when subdivision improvement plans are completed.
PS3.12 Hazardous Fire Areas	Project Fire Protection Plan must be reviewed and approved by the Town Engineer and Fire Marshall. Dry grass and brush in the open space will be controlled by the GHAD, in part through grazing. The proposed project streets as designed will support fire-fighting vehicles. Adequate water supplies for fire control will be provided. Individual lot landscaping will be subject to design review for fire protection.
PS3.13 Dry Grass and Brush Control	Project Fire Protection Plan will require control of dry grass and brush control during and after construction.
PS3.14 Fire Retardant Roofing	Fire retardant roofing is required for each new home.
PS3.15 Fire Roads and Trails	The subject property is served by existing and adequate fire access roads to open space areas. The proposed project does not impact them.
Seismic and Geologic Hazards PS4 Goal	Project as designed and mitigated presents minimal risk to lives and property due to earthquakes and other geologic hazards. The Project geotechnical engineer, Town geotechnical consultant and EIR geotechnical sub-consultant all concur. GHAD management of the property and its geotechnical and storm drainage features will assure that minimal risk will not increase over time or through neglect.
PS4.1 Development in Geologic	Where finished lots, homes, streets and water quality basins are developed, geologic hazards

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Hazard Areas	that could adversely affect them will be eliminated, corrected or mitigated to a level of insignificance. That is also true with respect to the stabilization of Rheem Boulevard with a valley buttress in the upper valley area prior to its improvement. This is the conclusion of the EIR geotechnical sub-consultant and the Town's geotechnical consultant in their technical evaluation of the proposed development, including their evaluation of the geotechnical studies and recommendations by ENGEO. All geology and soils mitigation measures in the final EIR will be implemented.
PS4.2 Development Review for Geologic Hazards	Technical reports addressing the geologic hazards on the site have been prepared by ENGEO, a licensed soil engineering and geology firm for the Applicant and accepted by the Town, as well as the EIR geotechnical sub-consultant in the geology and soils section and analysis of the EIR. Town staff and its geotechnical consultant have found all the technical reports to be complete for approval of the conceptual development plan and conditional use permit.
PS4.3 Development Densities in Hazard Areas	Finished lots, homes, streets and water quality basins will not be developed in areas that will be prone to seismic and other geotechnical hazards. A density of one unit per 6.7 acres, restricted to 27 lots in two development clusters on less than 10% of the property, conforms to the objective of this policy to minimize density to avoid such hazards.
PS4.6 Construction Standards	Seismic and geologic safety construction standards will be required prior to issuance of a building permit.
PS4.7 Construction Oversight	Implementation of the Project mitigation measures will ensure that all new construction in the Project is built to established standards with respect to seismic and geologic safety.
PS4.10 Grading	Grading of the site must be substantially consistent with the preliminary grading plan approved as part of the Project conceptual development plan. That plan, implemented consistent with the Project mitigation measures, will result in a geologically safe development that is aesthetically consistent with the Town's Design Guidelines. There will be no significant environmental impacts, including visual quality impacts. The preliminary grading plan approved with the conceptual development plan shows the limits of average slope grading. See the summary in Policy LU1.8 on slope restrictions for permitting development on predevelopment average slopes that are 25% or greater. It also applies to this policy. The average predevelopment slope of the entire graded area of the project is less than 25%.
PS4.11 Retaining Walls	Project does not include retaining walls or other man-made features for the purpose of mitigating

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	<p>geologic hazards, except for a debris benche along 'D' Drive. This grading feature is permitted because: (i) it is designed to catch any potential debris flow from the inactive landslides on the hillside before it reaches 'D' Drive or on any lot and creates property damage; (ii) it will blend with the terrain; (iii) it will be screened from view by the homes in front of them and rear yard landscape and fences; and (iv) it is designed to ensure minimal GHAD maintenance costs. The retaining walls on lots throughout the project (3 - 4 foot maximum height) are intended to increase the size of the useable yards, not as mitigation for geologic hazards</p>
PS4.12 Maintenance of Hillside Areas	<p>Hillside areas, along with the rest of the property, will be under the permanent, professional management of the GHAD.</p>
Flooding and Stream Bank Erosion PS5. Goal	<p>Project as designed, mitigated and conditioned will create minimal risk due to flooding and stream bank erosion.</p>
PS5.2 Development in Floodways	<p>Property is not within the FEMA 100-year floodplain or the 500-year floodplain.</p>
PS5.3 New Structures in Flood Hazard Areas	<p>No new homes will be placed in potentially hazardous areas along stream courses. Coyote Creek area is not developed. No homes are included in the lower Rheem valley where the preserved intermittent drainage is located.</p>
PS5.5 Stream Bank Erosion and Flooding Potential	<p>Project as designed, mitigated and conditioned will reduce the potential for future stream bank erosion and flooding. Coyote Creek drainage will not be affected. The recreated wetland swale in the upper valley will be designed so that bank erosion is avoided. The Project storm drainage will be designed so that, at a minimum, off site discharge will not exceed existing conditions. The Applicant has further agreed, to the extent feasible using storm water detention basins, to reduce peak flows during the 10 year and 100 year storm events to less than existing conditions to help reduce bank erosion and flooding in the intermittent drainage channel behind the existing Rheem Boulevard homes. The Applicant has further agreed to work with interested homeowners to secure permits for and place buried riprap in strategic locations identified by ENGEO in order to reduce bank erosion behind their homes.</p>
PS5.6 On-Site Storm Water Retention	<p>On-site storm water retention will be retained to the extent necessary as described in the summary for the above policy.</p>
<p>Chapter 9 Community Facilities & Services</p>	

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Schools FS2 Goal	Project will not impede the goal of continued high quality schools.
FS2.1 Population Growth and School Capacity	The three public schools that will serve Project students have residual capacity. State law requires project mitigation: payment of school impact fees per home collected prior to issuance of a building permit. Fee amounts are set by the school district in accordance with a State law formula.
FS2.2 Pace of Growth	Timing and location of the Project does not impact school facilities.
FS2.3 School Impact Fees	The summary for the policy above applies to this policy.
Parks and Recreation FS3 Goal	Parks & Recreation Commission has had the opportunity to comment on the proposed public trail system in the Project. Further opportunity is available through the ongoing development process.
FS3.1 Parks & Recreation Commission	Public trails in the Project open space, managed by the GHAD, are adequate recreational facilities for this location.
FS3.2 Parks & Recreation Facilities in New Developments	Park dedication requirements will be satisfied consistent with ordinance requirements and subject to consideration of credit for on site recreational facilities.
FS3.3 Park Dedication Requirements	Convenient public parking for trail users is proposed at the junction of 'E Street and the Fay Hill Road split to the reservoir.
FS3.7 Parking at Parks and Recreational Facilities	The Project Open Space Management Plan will require GHAD to professionally manage the Project open space in accordance with recognized land management principles, as outlined in mitigation measures applicable to the open space.
FS3.10 Land Management	Project trails have been located and designed for a minimum adverse environmental impact. For example, narrow dirt trails are located on the steeper, easterly open space slopes. Maintenance will be the GHAD responsibility, not the Town. Trail routes and motor routes are separate, except for the access to Fay Hill Reservoir, which has nominal EBMUD vehicle use. The public path on the project side of Rheem Boulevard will be separated from the road.
FS3.21 Trails and Maintenance	Parks & Recreation Commission has had the opportunity to comment on the proposed public trail system in the Project. Further opportunity is available through the ongoing development process.

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Chapter 10 Growth Management	
Growth Management GM1 Goal	Project development will not impede the Town in maintaining approved Performance Standards for Town facilities, services and infrastructure.
GM1.4 Traffic Service Standards	LOS standard for all Moraga roads will not be exceeded with this Project. Cumulative impact is addressed by payment of applicable traffic fees.
GM1.5 Other Performance Standards	Other Performance Standards will not be exceeded with this Project, including parks, fire, police, sanitary facilities, water, and flood control, as detailed in the EIR and applicable mitigation measures.
GM1.6 Development Impacts and Share of Costs	Payment of development impact fees, per Town ordinance and its nexus study, as a fair share contribution toward capital improvements undertaken by the Town to meet Performance Standards, will address the cumulative development impact of this Project. The Town has elected to apply those fees toward its share of the cost to stabilize Rheem Boulevard in the lower valley at high risk for landslide movement. The Town will address the project's share of other development capital improvement costs with alternative funding.
GM1.7 Development Review and Approval	Mitigation Measures and Conditions relating to traffic and facility/service performance are being approved.
GM1.9 Concurrency	Rheem Boulevard will be stabilized, repaired and improved prior to completion of the Project by the applicant and Town in a coordinated effort. The applicant will be stabilizing the upper valley of Rheem Boulevard at no cost to the Town.
GM1.10 Findings of Consistency	Adopted Level of Service standards for Lamorinda will not be exceeded with development of the Project. The Project is consistent with and will not adversely affect approved action plans for Lamorinda. These "Findings of Consistency" are supported by the traffic and circulation analysis in the final EIR.